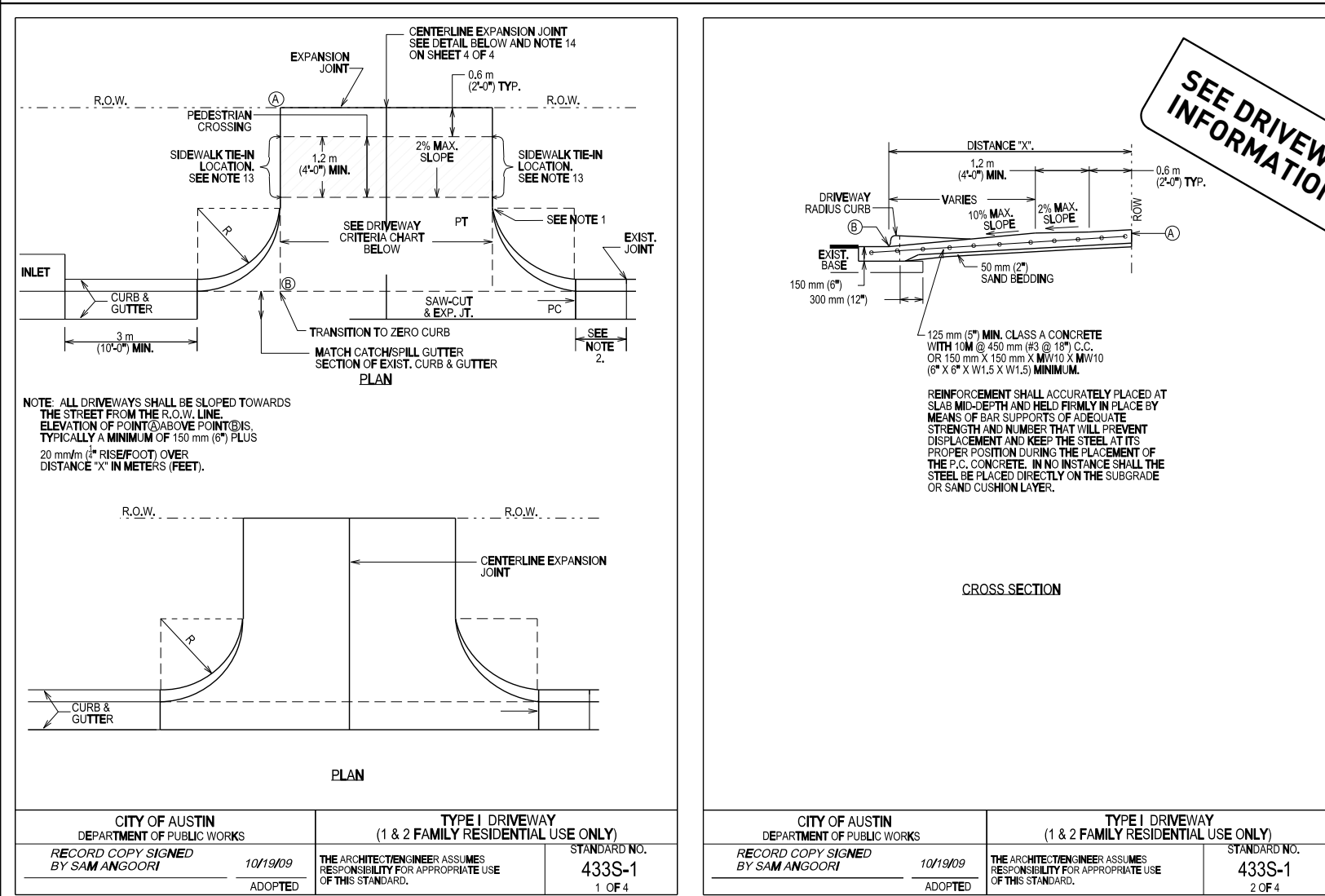


DRIVEWAY SPECS



DRIVEWAY CURBSIDE WIDTHS

DRIVEWAY CURBSIDE WIDTH	MINIMUM	MAXIMUM
ON FAMILY	4.00	10.00
DUPLEX	4.00	10.00
TOWNHOME	4.00	10.00

DRIVEWAY CURBSIDE WIDTHS

DRIVEWAY CURBSIDE WIDTH	MINIMUM	MAXIMUM
ON FAMILY	1.00	1.00
DUPLEX	1.00	1.00
TOWNHOME	1.00	1.00

NOTES:

- DRIVEWAY CURB AT FT. OR DRIVEWAY EDGE, WHEN USED TO ENCLOSE INTERIOR DRIVEWAY, SHALL BE CONSTRUCTED WITH A MINIMUM FINISH TO THE DRIVEWAY CURB AT THE FACE OF CURB.
- IF DRIVEWAY IS LESS THAN 4 METERS (13 FEET) WIDE, CURB AND GUTTER TO EXISTING JOINT AND FOUR METERS (13 FEET) WITHIN DRIVEWAY.
- IF THE DRIVEWAY IS LOCATED UNDER THE CURB AND GUTTER, THE DRIVEWAY SHALL BE CONSTRUCTED WITH A MINIMUM FINISH TO THE DRIVEWAY CURB AT THE FACE OF CURB.
- ALL DRIVEWAYS MUST BE CONSTRUCTED WITHIN THE STREET FRONTAGE OF THE SUBJECT PROPERTY AND EXTENDING TO THE DRIVEWAY CURB.
- DRIVEWAYS SHALL NOT EXCEED 10% OF A CITY STREET FRONTAGE.
- TYPE I DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTION THAN 10 METERS (33 FEET) FROM THE CORNER OF INTERSECTION.
- DRIVEWAYS SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
- SINGLE FAMILY LOTS LIMITED TO ONE DRIVEWAY EXCEPT APPROVED SEMI-CIRCULAR CURBS.
- DRIVEWAYS ARE USED TO ENCLOSE INTERIOR DRIVEWAYS FOR DUPLEXES AND TOWNHOMES. SINGLE FAMILY STANDARD SHALL APPLY.
- WHERE THE PROPERTY OWNER HAS BEEN NOTIFIED FOR DRIVEWAY CONSTRUCTION, PRIVATE PROPERTY THE DRIVEWAY SHALL BE CONSTRUCTED WITHIN THE DRIVEWAY CURBSIDE TO THE DRIVEWAY CURB AND NOT TO EXCEED 10% OF A CITY STREET FRONTAGE.
- SEE TRUNK PROTECTION MANUAL SECTION FOR OTHER DRIVEWAY REQUIREMENTS.
- USE 150mm (6") SPACED STIFFENING OR OTHER APPROVED FLOORING AND GUTTER EXPANSION JOINTS.
- THE FINISH ELEVATION OF THE DRIVEWAY SHALL BE TO THE CURB OR PROPERTY LINE. SHALL BE CONNECTED TO THE DRIVEWAY AT THESE LOCATIONS.
- PLACE AN EXPANSION JOINT DOWN THE CENTER OF ALL DRIVEWAYS.
- GUTTER METERS SHALL BE MAINTAINED CLEAN. GUTTERS ARE PROHIBITED FROM BEING LOCATED IN DRIVEWAY AREAS.

CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS
RECORD COPY OWNED BY SAM ANCOORNY

TYPE I DRIVEWAY
(1 & 2 FAMILY RESIDENTIAL USE ONLY)
RECORD COPY OWNED BY SAM ANCOORNY

REVISIONS:
NO. 1
DATE: 11/24/16
BY: JAC
DESCRIPTION: REVISED TO REFLECT THE CITY OF AUSTIN TYPE I DRIVEWAY SPECIFICATIONS.

APPLICABLE CODES

INTL. ENERGY CONSERVATION CODE (IECC)	2021
INTL. FIRE CODE (IFC)	2021
INTL. RESIDENTIAL CODE (IRC)	2021
INTL. SWIMMING POOL AND SPA CODE (ISPPC)	2018
NATIONAL ELECTRICAL CODE (NEC)	2020
UNIFORM MECHANICAL CODE (UMC)	2021
UNIFORM PLUMBING CODE (UPC)	2021

CONTACTS

CLIENT
ATX LUXURY BUILDERS LLC
CONTACT: JAKE FRIEDMAN
EMAIL: JAKE@ATXLUXURYBUILDERS.COM
PHONE: 512.771.4244

ARCHITECTURE
NORTH ARROW STUDIO
CONTACT: FRANCISCO ARREDONDO
E-MAIL: FX@NORTHARROWSTUDIO.COM
PHONE: 512.956.0644

CONTRACTOR
ATX LUXURY BUILDERS LLC
CONTACT: JAKE FRIEDMAN
EMAIL: JAKE@ATXLUXURYBUILDERS.COM
PHONE: 512.771.4244

STRUCTURAL ENGINEER

CONTACT:
EMAIL:
PHONE:

SURVEYOR
HOLT CARSON, INC.
CONTACT: JAKE FRIEDMAN
EMAIL: SURVEY@HCAUSTIN.COM
PHONE: 512.442.0990

GEOTECHNICAL ENGINEER

CONTACT:
EMAIL:
PHONE:

DRAWING INDEX

ARCHITECTURAL
A0.0 COVER SHEET
A0.2 SURVEY
A0.3 SURVEY: SETBACK AVERAGING
A0.4 PLAN: SITE & MCMANSION
A0.5 PLAN: TREE CRZ IMPACTS
A0.6 PLAN: STAGING

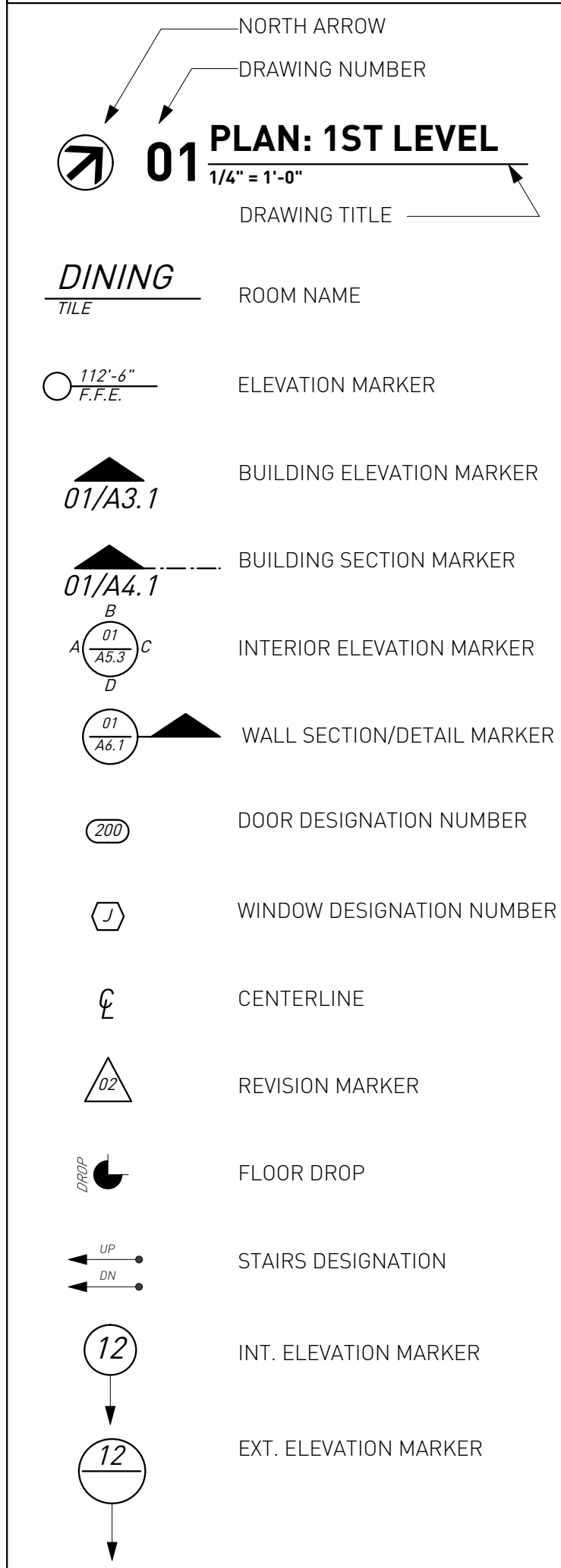
A1.0 PLAN: ALL LEVELS
A1.2 PLAN: LOWER LEVEL NOTED
A1.3 PLAN: MAIN LEVEL NOTED
A1.4 PLAN: UPPER LEVEL NOTED
A1.5 PLAN: LOWER LEVEL DIMENSIONED
A1.6 PLAN: MAIN LEVEL DIMENSIONED
A1.7 PLAN: UPPER LEVEL DIMENSIONED

A3.0 ELEVATIONS: MCMANSION
A3.1 ELEVATION: BASEMENT EXHIBIT
A3.2 WEST ELEVATION: PRIMARY & CABANA
A3.3 EAST ELEVATION: PRIMARY & CABANA
A3.4 SOUTH ELEVATION: PRIMARY
A3.5 SOUTH ELEVATION: CABANA
A3.6 NORTH ELEVATION: PRIMARY & CABANA

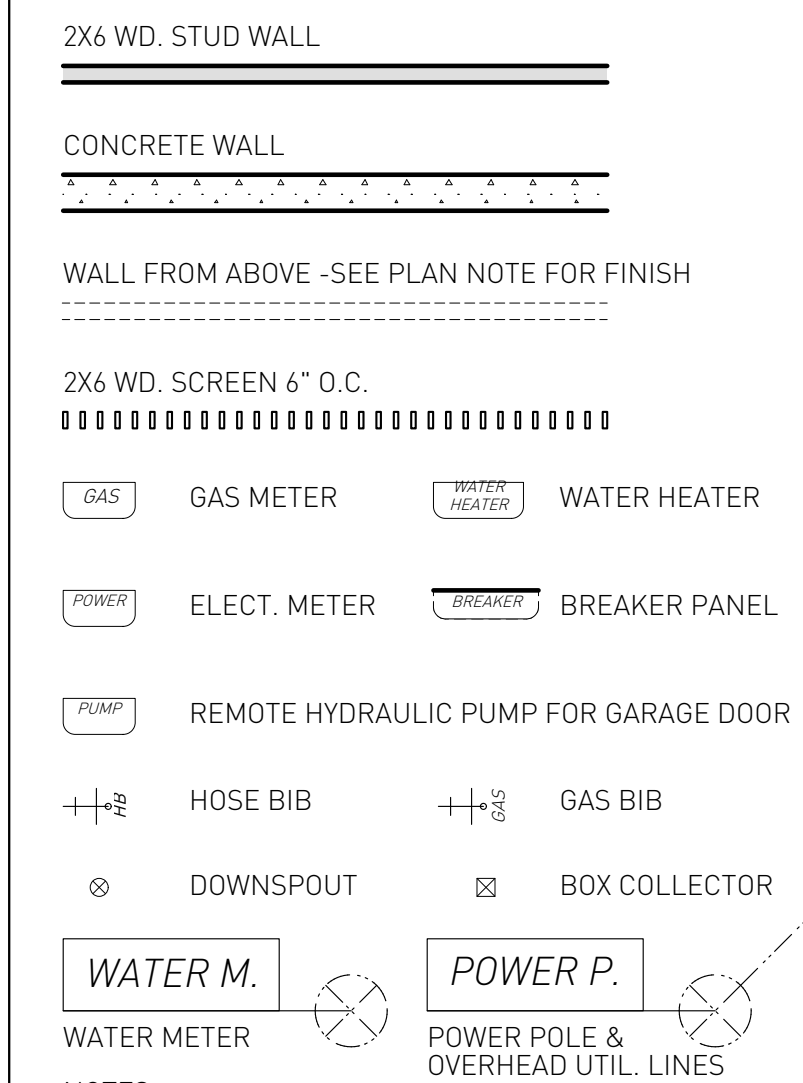
A4.0 SECTIONS
A4.1 SECTIONS
A4.2 SECTIONS
A4.3 SECTIONS
A4.4 SECTIONS
A4.5 SECTIONS
A4.6 SECTIONS

STRUCTURAL
TBD

SYMBOLS



GRAPHIC LEGEND



NOTES:
-> FOR INT. WALL FINISHES SEE INT. ELEV. & SECT.
-> FOR EXT. WALL FINISHES SEE EXT. ELEV.
-> VERIFY ALL DIMENSIONS IN FIELD

NORTH ARROW STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL

FOR INTERIM REVIEW ONLY - NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES

PROJECT

1100 S 5TH ST

AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED

PROGRESS SET
2022-04-24

TITLE OF SHEET

COVER SHEET

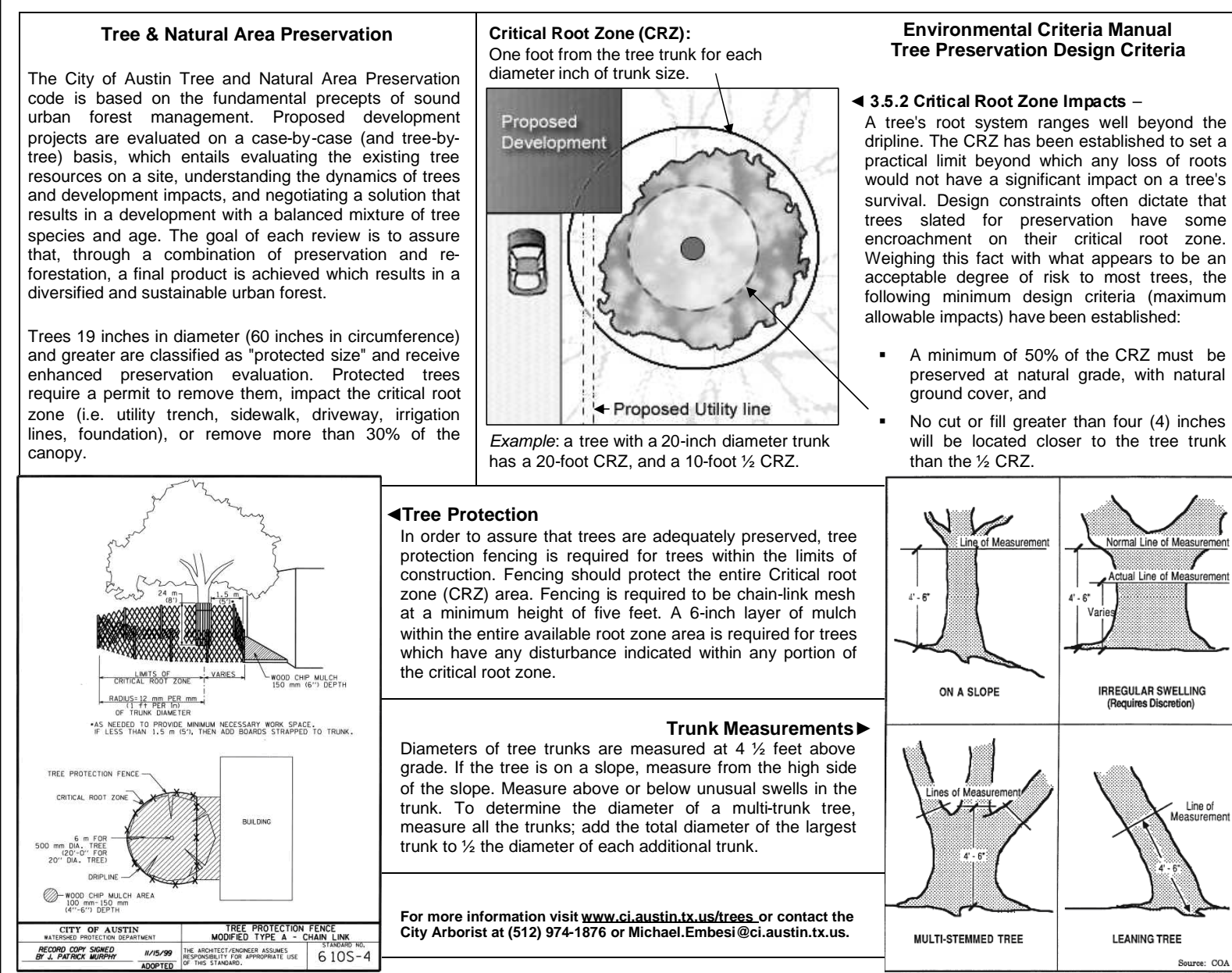
NUMBER OF SHEET

A0.0

CAUTION

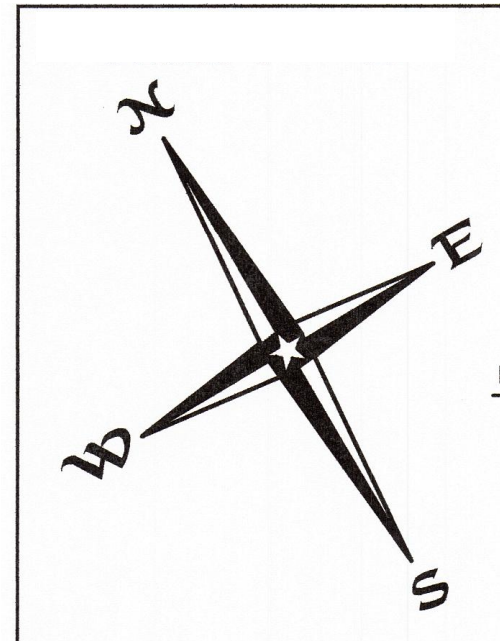
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT & MAY ONLY BE USED IN CONJUNCTION WITH THIS PROJECT

TREE PRESERVATION CRITERIA



VICINITY MAP





- Legend**
- ⊙ 1/2" Iron Rod Found
 - ip ⊙ 1/2" Iron Pipe Found
 - 1/2" Iron Rod Found with plastic cap imprinted with "Holt Carson, Inc." unless noted
 - 1/2" Iron Rod Set with plastic cap imprinted with "Holt Carson, Inc."
 - ▲ 60D Nail Found
 - x- Wire Fence
 - #- Wood Board Fence
 - |- Overhead Utility Line (Record Bearing and Distance)

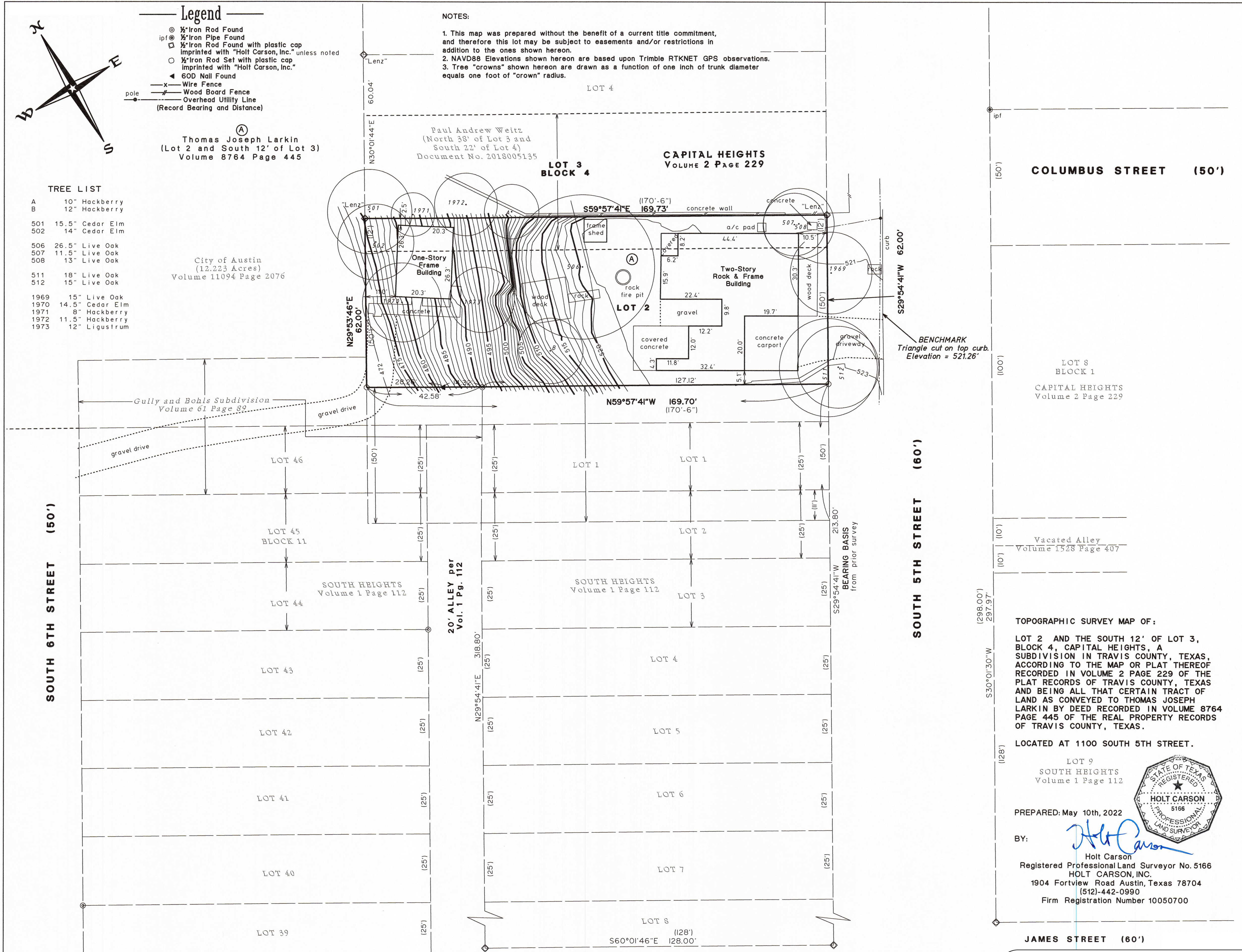
Thomas Joseph Larkin
(Lot 2 and South 12' of Lot 3)
Volume 8764 Page 445

TREE LIST

A	10"	Hackberry
B	12"	Hackberry
501	15.5"	Cedar Elm
502	14"	Cedar Elm
506	26.5"	Live Oak
507	11.5"	Live Oak
508	13"	Live Oak
511	18"	Live Oak
512	15"	Live Oak
1969	15"	Live Oak
1970	14.5"	Cedar Elm
1971	8"	Hackberry
1972	11.5"	Hackberry
1973	12"	Ligustrum

City of Austin
(12.223 Acres)
Volume 11094 Page 2076

- NOTES:**
- This map was prepared without the benefit of a current title commitment, and therefore this lot may be subject to easements and/or restrictions in addition to the ones shown hereon.
 - NAVD88 Elevations shown hereon are based upon Trimble RTKNET GPS observations.
 - Tree "crowns" shown hereon are drawn as a function of one inch of trunk diameter equals one foot of "crown" radius.



NORTH ARROW STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY - NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING, OR PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
SURVEY

NUMBER OF SHEET
A0.2

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT & MAY ONLY BE USED IN CONJUNCTION WITH THIS PROJECT

TOPOGRAPHIC SURVEY MAP OF:
LOT 2 AND THE SOUTH 12' OF LOT 3, BLOCK 4, CAPITAL HEIGHTS, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2 PAGE 229 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS AND BEING ALL THAT CERTAIN TRACT OF LAND AS CONVEYED TO THOMAS JOSEPH LARKIN BY DEED RECORDED IN VOLUME 8764 PAGE 445 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS.

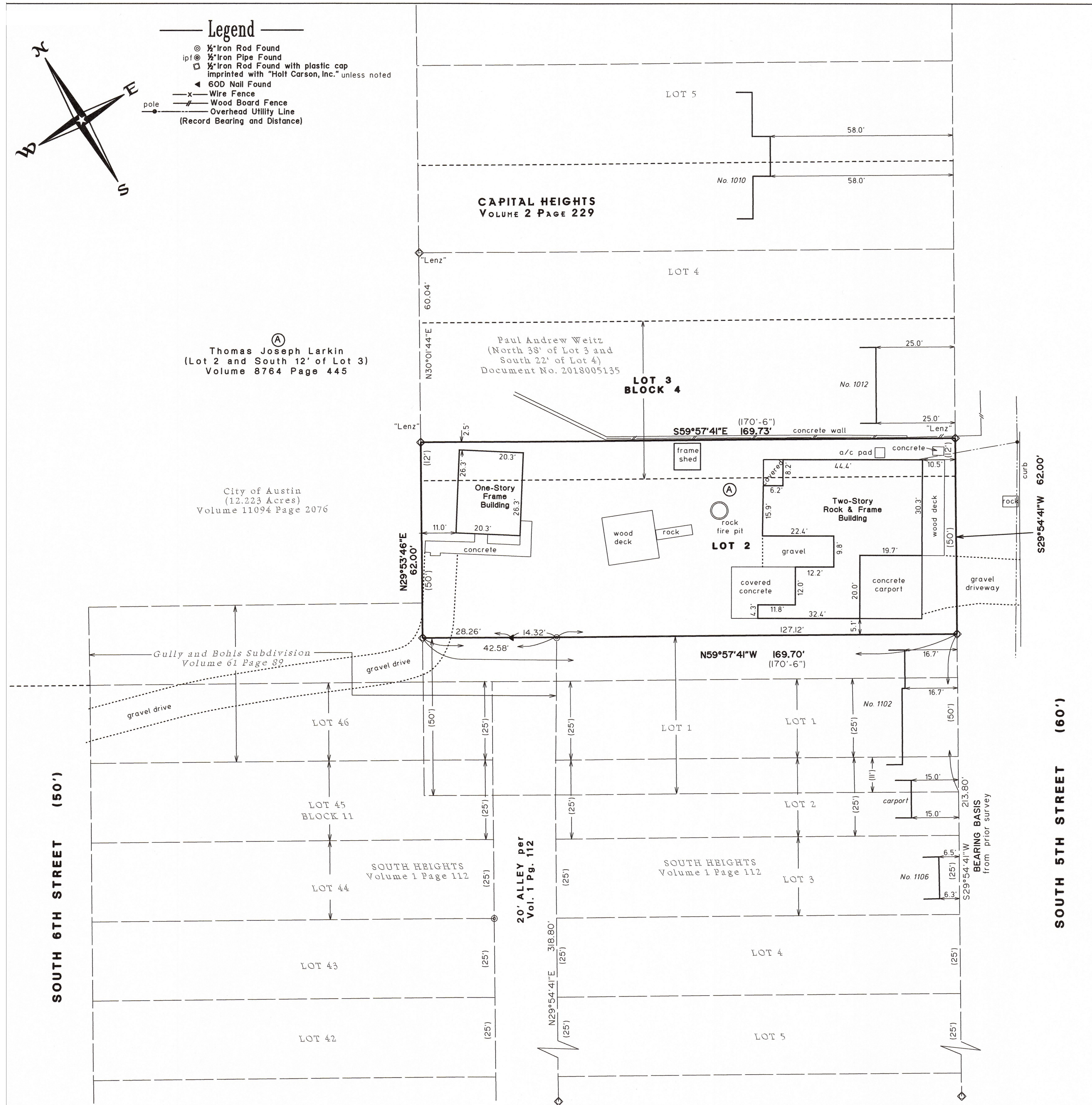
LOCATED AT 1100 SOUTH 5TH STREET.
LOT 9
SOUTH HEIGHTS
Volume 1 Page 112

PREPARED: May 10th, 2022
BY: *Holt Carson*
Holt Carson
Registered Professional Land Surveyor No. 5166
HOLT CARSON, INC.
1904 Fortview Road Austin, Texas 78704
(512)-442-0990
Firm Registration Number 10050700



JAMES STREET (60')

01 SURVEY
NTS

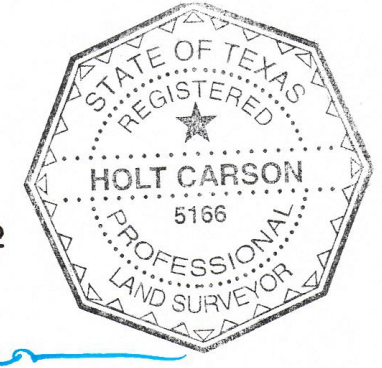


Legend

- ⊙ 1/2" Iron Rod Found
- ipf 1/2" Iron Pipe Found
- ⊠ 1/2" Iron Rod Found with plastic cap imprinted with "Holt Carson, Inc." unless noted
- ▲ 60D Nail Found
- Wire Fence
- Wood Board Fence
- Overhead Utility Line (Record Bearing and Distance)

Compass rose showing North (N), South (S), East (E), and West (W).

NOTE:
 1. This map was prepared without the benefit of a current title commitment, and therefore this lot may be subject to easements and/or restrictions in addition to the ones shown herein.



PREPARED: December 22nd, 2022

BY: *Holt Carson*
 Holt Carson
 Registered Professional Land Surveyor No. 5166
 HOLT CARSON, INC.
 1904 Fortview Road Austin, Texas 78704
 (512)-442-0990
 Firm Registration Number 10050700

COLUMBUS STREET (50')

LOT 8
 BLOCK 1
 CAPITAL HEIGHTS
 Volume 2 Page 229

Vacated Alley
 Volume 1528 Page 407

EXHIBIT MAP OF SETBACK AVERAGING OF:
 LOT 2 AND THE SOUTH 12' OF LOT 3,
 BLOCK 4, CAPITAL HEIGHTS, A
 SUBDIVISION IN TRAVIS COUNTY, TEXAS,
 ACCORDING TO THE MAP OR PLAT THEREOF
 RECORDED IN VOLUME 2 PAGE 229 OF THE
 PLAT RECORDS OF TRAVIS COUNTY, TEXAS
 AND BEING ALL THAT CERTAIN TRACT OF
 LAND AS CONVEYED TO THOMAS JOSEPH
 LARKIN BY DEED RECORDED IN VOLUME 8764
 PAGE 445 OF THE REAL PROPERTY RECORDS
 OF TRAVIS COUNTY, TEXAS.
 LOCATED AT 1100 SOUTH 5TH STREET.

LOT 9
 SOUTH HEIGHTS
 Volume 1 Page 112

NORTH
 ARROW
 STUDIO

NORTHARROWSTUDIO.COM
 INFO@NORTHARROWSTUDIO.COM
 512.956.0644

SEAL
 FOR INTERIM REVIEW ONLY -
 NOT TO BE USED FOR
 REGULATORY APPROVAL,
 CONSTRUCTION, BIDDING, OR
 PERMITTING PURPOSES

PROJECT
 1100 S 5TH ST
 AUSTIN, TX 78704

DRAWN BY
 FX
 AP
 BB

SET ISSUED
 PROGRESS SET
 2022-04-24

TITLE OF SHEET
 SURVEY:
 SETBACK
 AVERAGING

NUMBER OF SHEET
 A0.3

CAUTION
 DO NOT SCALE DRAWINGS
 THESE DRAWINGS ARE THE
 PROPERTY OF THE
 ARCHITECT & MAY ONLY BE
 USED IN CONJUNCTION
 WITH THIS PROJECT

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
AUSTIN, TX 78704

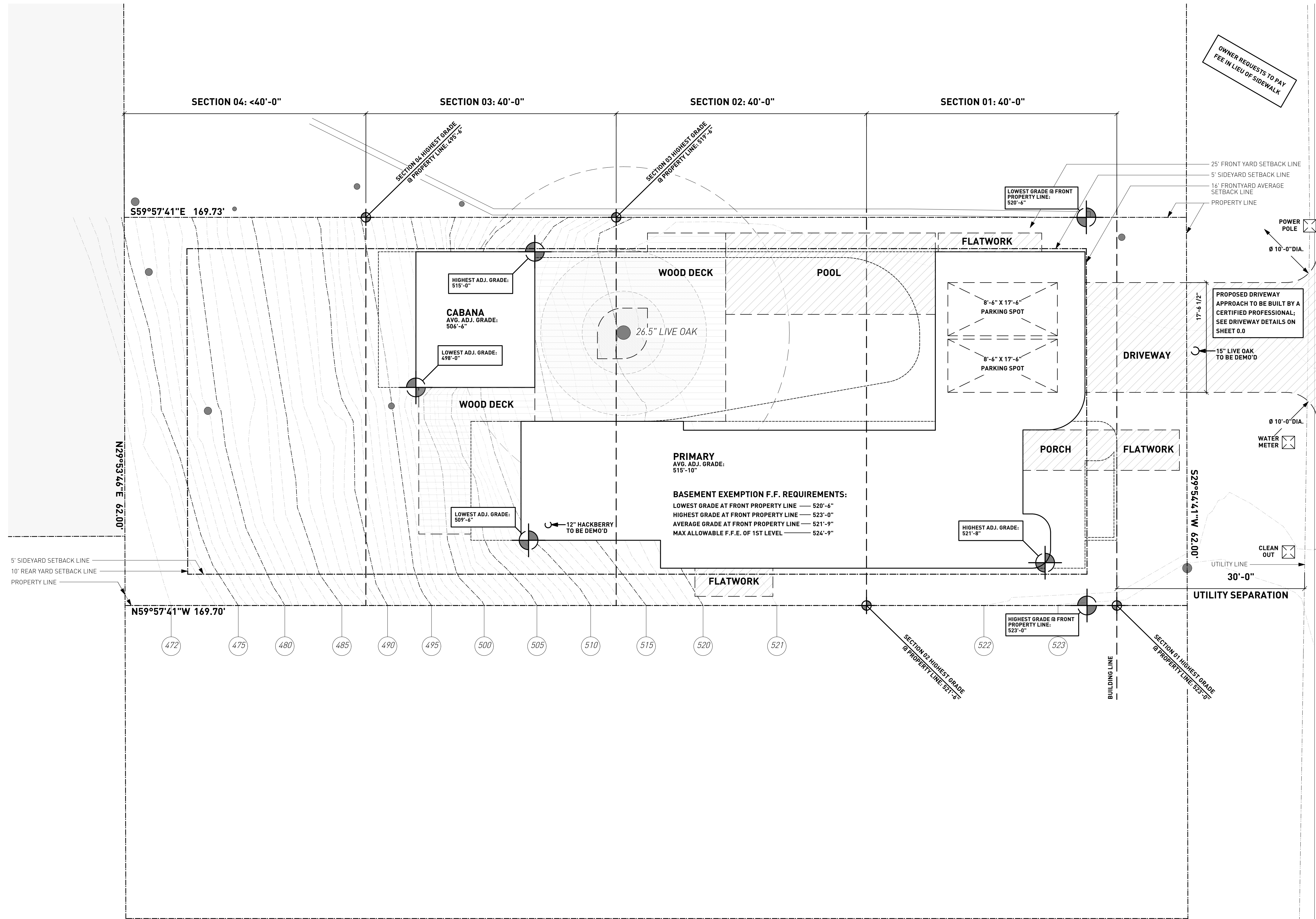
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**PLAN:
SITE &
MCMANSION**

NUMBER OF SHEET
A0.4

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



S. 5TH STREET
(60')

plans scale to 1/16" = 1'-0" in 11 x17 paper



01

PLAN: SITE & MCMANSION

1/8" = 1'-0"

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

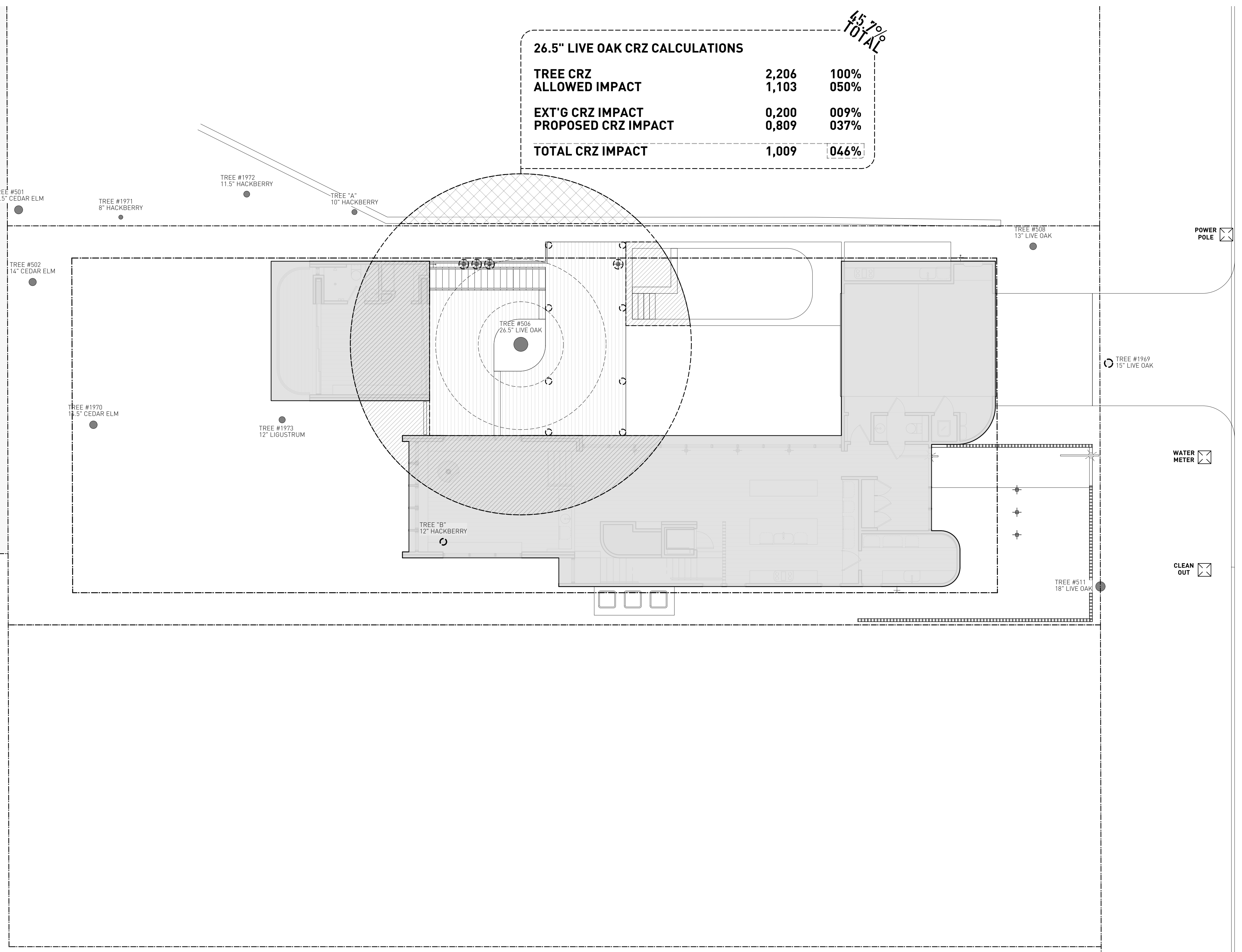
TITLE OF SHEET
**PLAN:
TREE CRZ
IMPACTS**

NUMBER OF SHEET
A0.5

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT

**45.7%
TOTAL**

26.5" LIVE OAK CRZ CALCULATIONS		
TREE CRZ	2,206	100%
ALLOWED IMPACT	1,103	050%
EXT'G CRZ IMPACT	0,200	009%
PROPOSED CRZ IMPACT	0,809	037%
TOTAL CRZ IMPACT	1,009	046%



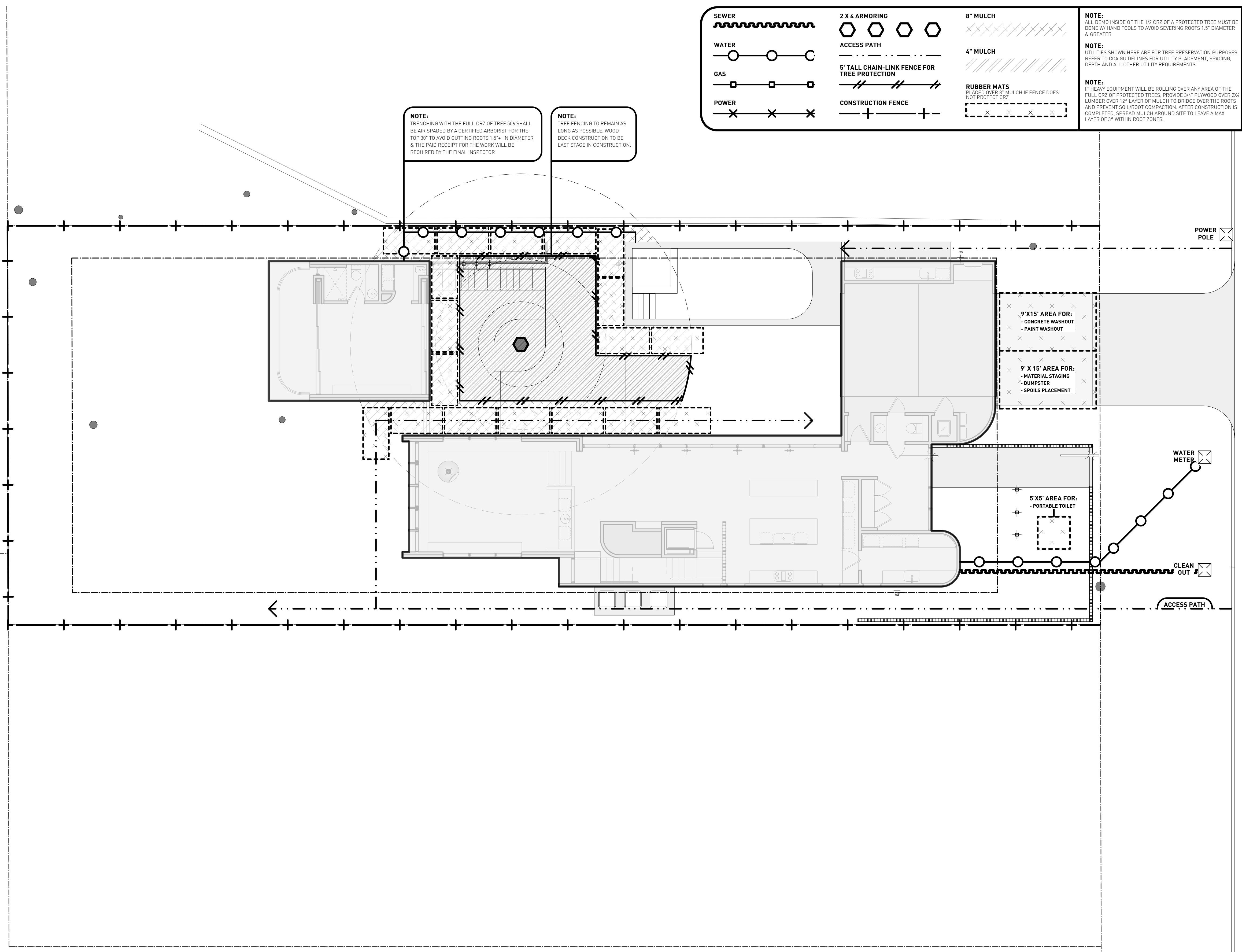
S. 5TH STREET
(60')

plans scale to 1/16" = 1'-0" in 11 x17 paper



01

PLAN: TREE CRZ IMPACTS
1/8" = 1'-0"



**NORTH
ARROW
STUDIO**

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL

FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

**1100
S 5TH ST**

1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED

**PROGRESS SET
2022-04-24**

TITLE OF SHEET

**PLAN:
STAGING**

NUMBER OF SHEET

A0.6

CAUTION

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT

plans scale to 1/16" = 1'-0" in 11 x17 paper

01 PLAN: STAGING
1/8" = 1'-0"

S. 5TH STREET
(60')

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

1100
S 5TH ST

1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED

PROGRESS SET
2022-04-24

TITLE OF SHEET

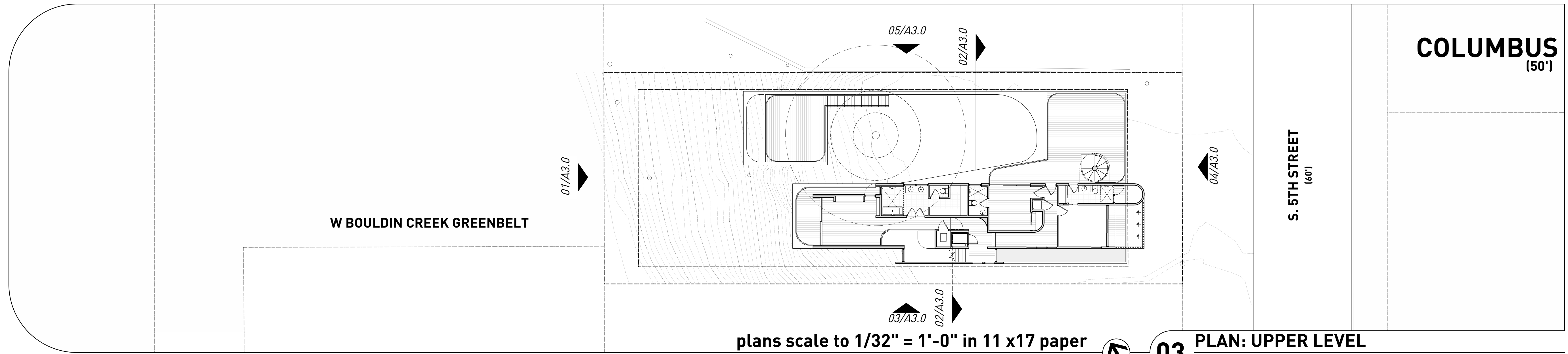
PLAN:
ALL LEVELS

NUMBER OF SHEET

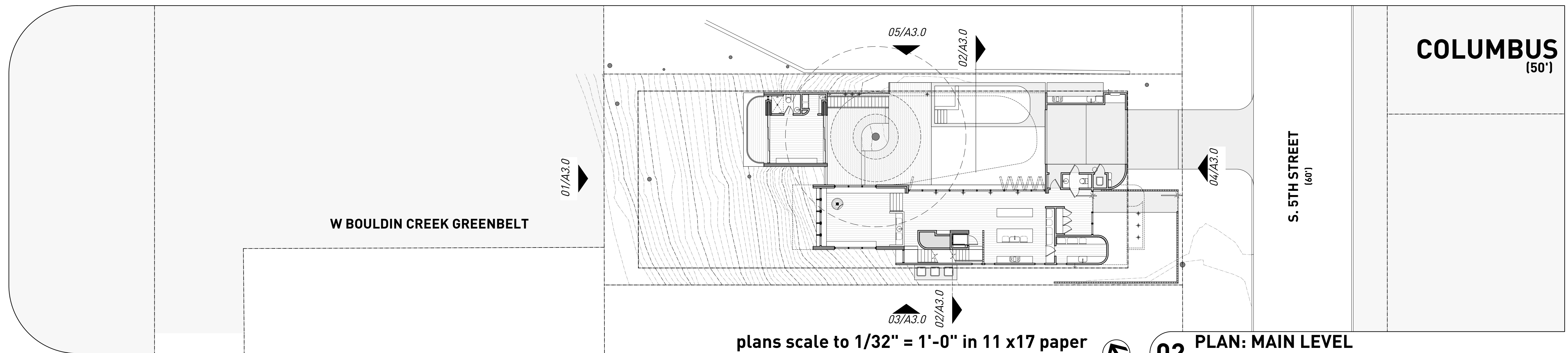
A1.0

CAUTION

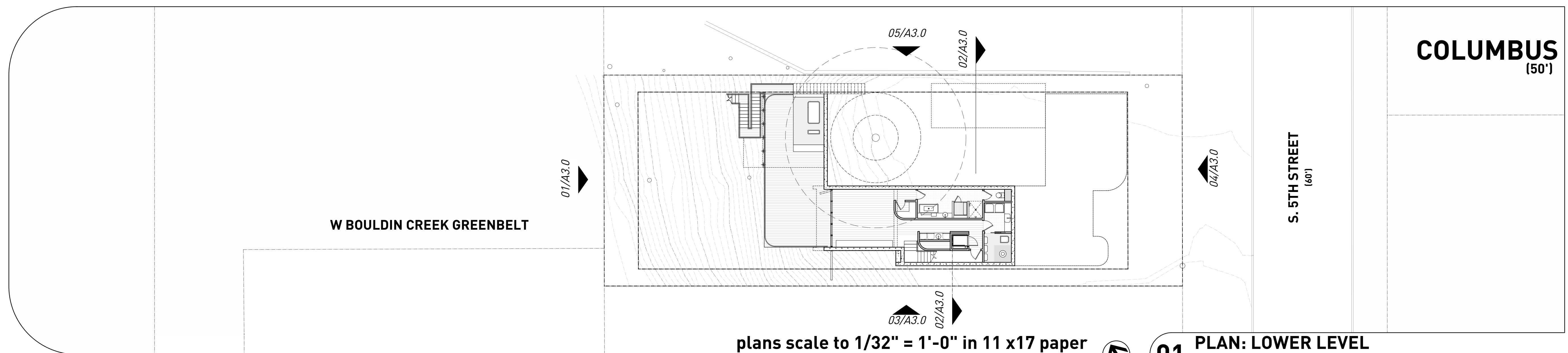
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



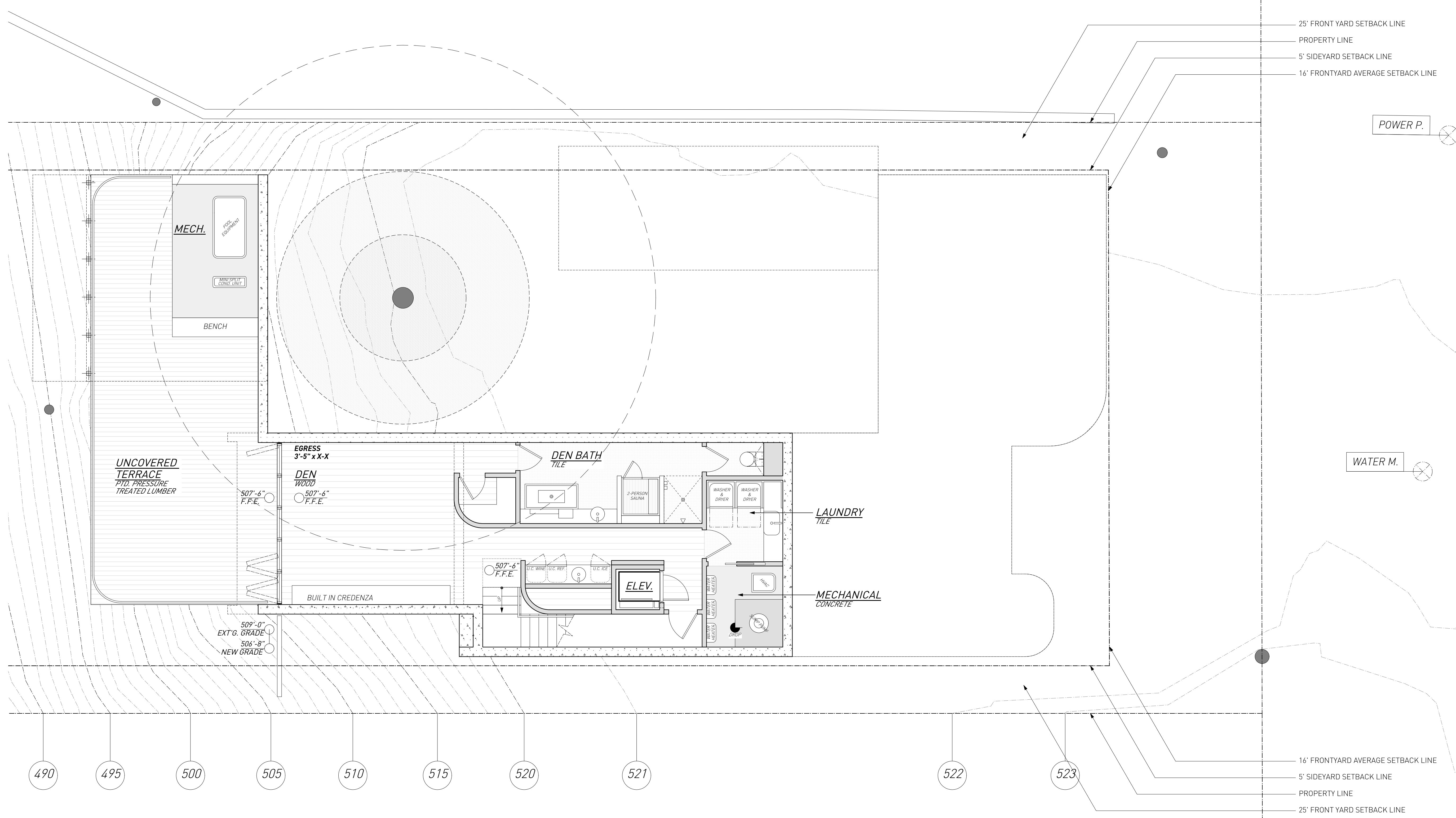
03 PLAN: UPPER LEVEL
1/16" = 1'-0"



02 PLAN: MAIN LEVEL
1/16" = 1'-0"



01 PLAN: LOWER LEVEL
1/16" = 1'-0"



PROVIDE SMOKE ALARMS-HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS. IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2021 IRC SEC R314.

PROVIDE CARBON MONOXIDE ALARM-HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2021 IRC SEC R315.

ARTIFICIAL LIGHT AND LOCAL EXHAUST SYSTEM WILL BE PROVIDED AT NEW BATHS PER 2021 IRC SECTION R303.4. VENTILATED AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE.

STAIRS PROVIDE GRASPABLE HANDRAIL IN ACCORDANCE WITH 2021 IRC R311.7
-STAIR TREAD RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4"
-STAIR TREAD DEPTH SHALL BE NOT LESS THAN 10"
-STAIRWAYS SHALL BE NOT LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.

GUARDRAIL SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES AND WITHOUT OPENINGS FROM THE WALKING SURFACE WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, IN ACCORDANCE WITH 2021 IRC R311 AND 2021 IRC R312

BATHROOM TO COMPLY W/ R320 VISITABILITY ORDINANCE NO. 20140130-021.
A. VISITABLE BATHROOM
B. VISITABLE LIGHT SWITCHES, RECEPTACLES, & ENVIRO CONTROLS
C. VISITABLE BATHROOM ROUTE
D. VISITABLE BATHROOM ENTRANCE , NO-STEP ENTRY
E. FOUNDATION TO ACCOMODATE NO-STEP ENTRANCE

DWELLING ACCESSIBLE BY AT LEAST ONE NO-STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES IN ACCORDANCE WITH VISITABILITY ORDINANCE NO. 20140130-021 R320.6 BATHROOM ROUTE W/ NO-STEP ENTRY, PROVIDE RAMP BETWEEN GRADE & PORCH IF NEC. - RAMP NOT TO EXCEED 1:12 SLOPE

**NORTH
ARROW
STUDIO**

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

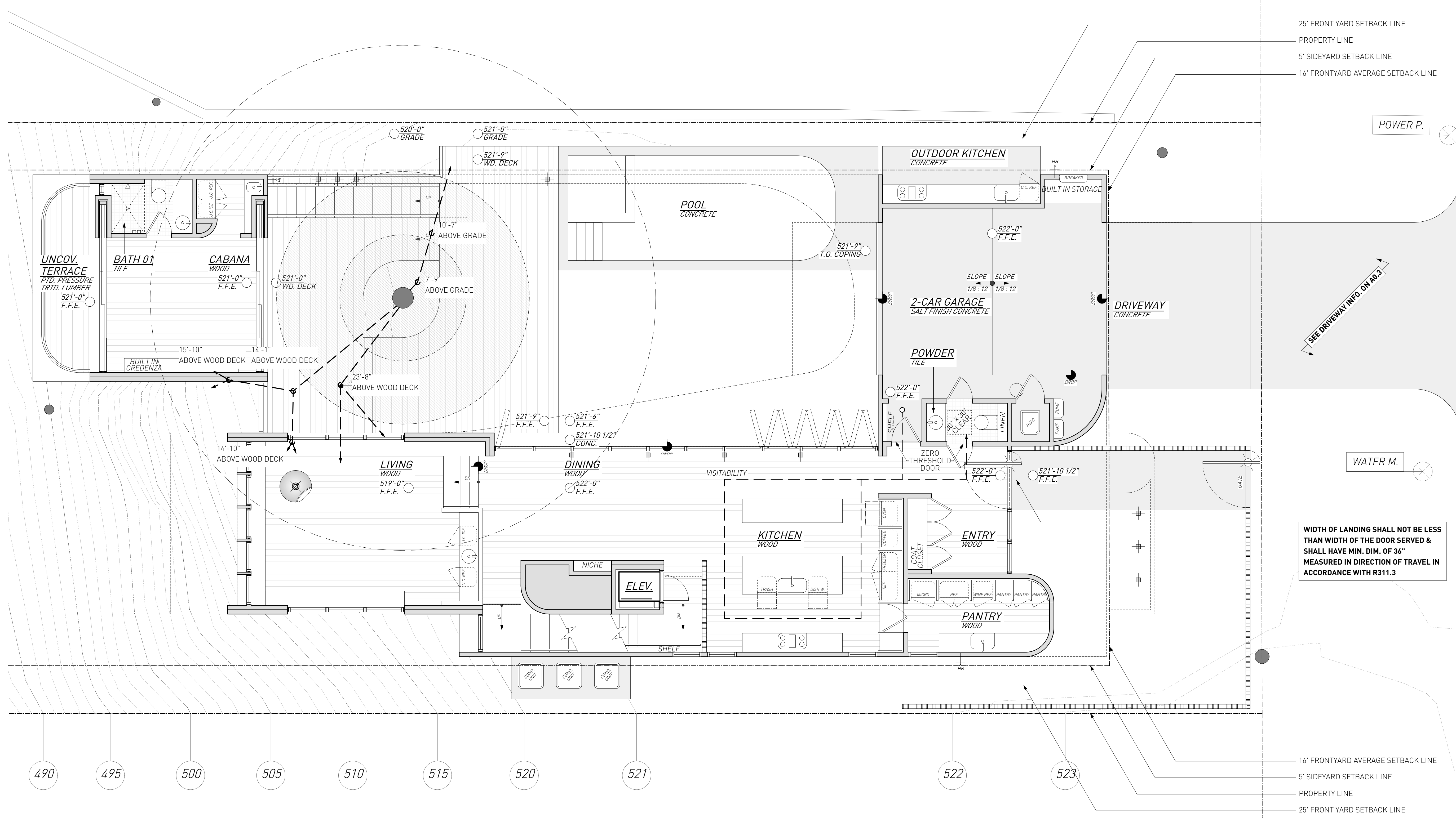
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**PLAN:
MAIN LEVEL
NOTED**

NUMBER OF SHEET
A1.3

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



PROVIDE SMOKE ALARMS-HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS. IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2021 IRC SEC R314.

PROVIDE CARBON MONOXIDE ALARM-HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2021 IRC SEC R315.

ARTIFICIAL LIGHT AND LOCAL EXHAUST SYSTEM WILL BE PROVIDED AT NEW BATHS PER 2021 IRC SECTION R303.4. VENTILATED AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE.

STAIRS PROVIDE GRASPABLE HANDRAIL IN ACCORDANCE WITH 2021 IRC R311.7

-STAIR TREAD RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4"
-STAIR TREAD DEPTH SHALL BE NOT LESS THAN 10"
-STAIRWAYS SHALL BE NOT LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.

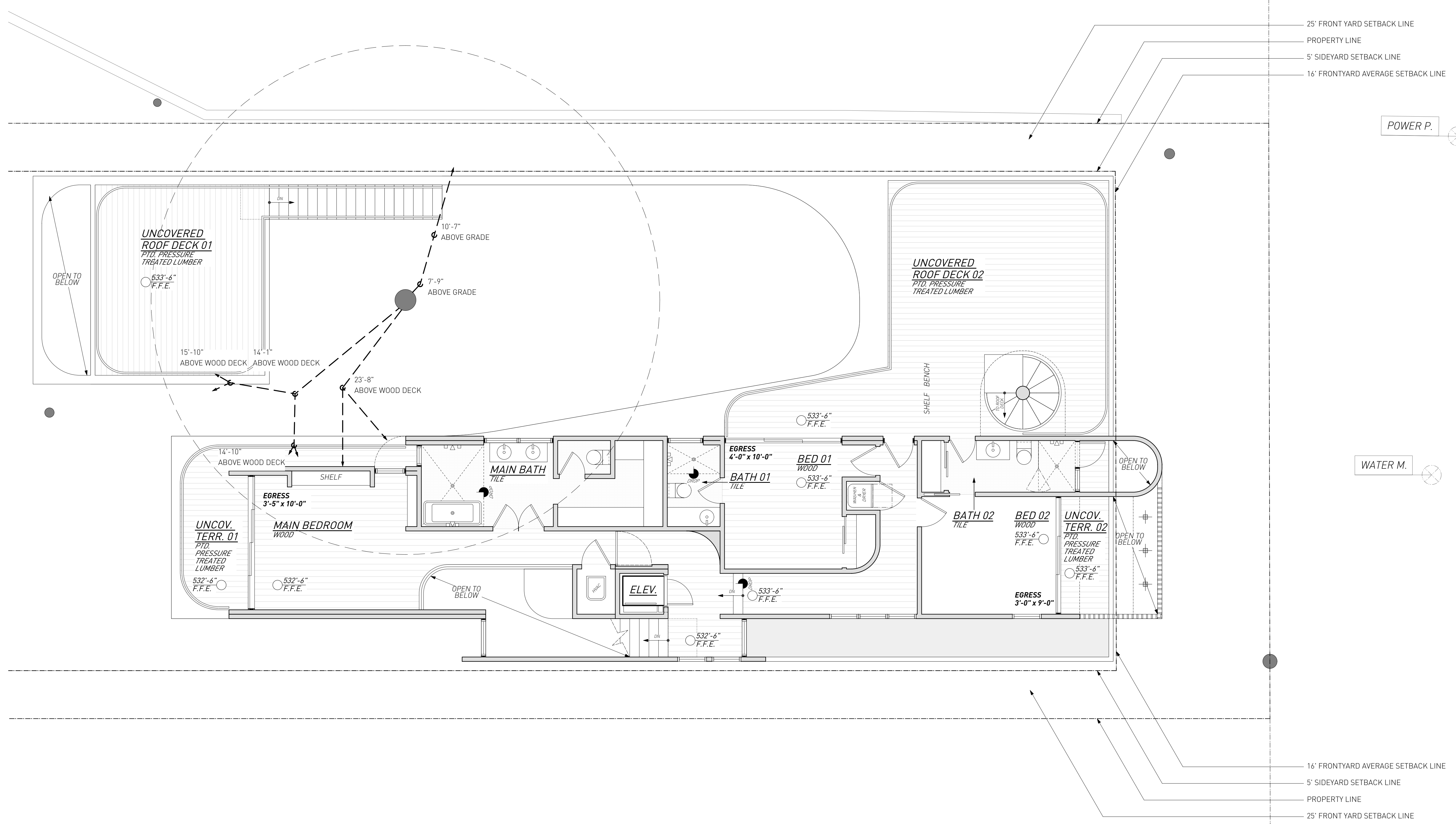
GUARDRAIL SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES AND WITHOUT OPENINGS FROM THE WALKING SURFACE WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, IN ACCORDANCE WITH 2021 IRC R311 AND 2021 IRC R312

BATHROOM TO COMPLY W/ R320 VISITABILITY ORDINANCE NO. 20140130-021.

A. VISITABLE BATHROOM
B. VISITABLE LIGHT SWITCHES, RECEPTACLES, & ENVIRO CONTROLS
C. VISITABLE BATHROOM ROUTE
D. VISITABLE BATHROOM ENTRANCE, NO-STEP ENTRY
E. FOUNDATION TO ACCOMMODATE NO-STEP ENTRANCE

DWELLING ACCESSIBLE BY AT LEAST ONE NO-STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES IN ACCORDANCE WITH VISITABILITY ORDINANCE NO. 20140130-021 R320.6 BATHROOM ROUTE W/ NO-STEP ENTRY, PROVIDE RAMP BETWEEN GRADE & PORCH IF NEC. - RAMP NOT TO EXCEED 1:12 SLOPE

plans scale to 3/32" = 1'-0" in 11 x17 paper **01 PLAN: MAIN LEVEL NOTED**
3/16" = 1'-0"



PROVIDE SMOKE ALARMS-HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS. IF APPLICABLE, ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. IN ACCORDANCE WITH 2021 IRC SEC R314.

PROVIDE CARBON MONOXIDE ALARM-HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2021 IRC SEC R315.

ARTIFICIAL LIGHT AND LOCAL EXHAUST SYSTEM WILL BE PROVIDED AT NEW BATHS PER 2021 IRC SECTION R303.4. VENTILATED AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO OUTSIDE.

STAIRS PROVIDE GRASPABLE HANDRAIL IN ACCORDANCE WITH 2021 IRC R311.7
-STAIR TREAD RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4"
-STAIR TREAD DEPTH SHALL BE NOT LESS THAN 10"
-STAIRWAYS SHALL BE NOT LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.

GUARDRAIL SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES AND WITHOUT OPENINGS FROM THE WALKING SURFACE WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER, IN ACCORDANCE WITH 2021 IRC R311 AND 2021 IRC R312

BATHROOM TO COMPLY W/ R320 VISITABILITY ORDINANCE NO. 20140130-021.
A. VISITABLE BATHROOM
B. VISITABLE LIGHT SWITCHES, RECEPTACLES, & ENVIRO CONTROLS
C. VISITABLE BATHROOM ROUTE
D. VISITABLE BATHROOM ENTRANCE, NO-STEP ENTRY
E. FOUNDATION TO ACCOMMODATE NO-STEP ENTRANCE

DWELLING ACCESSIBLE BY AT LEAST ONE NO-STEP ENTRANCE WITH A BEVELED THRESHOLD OF ONE-HALF INCH OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST 32 INCHES IN ACCORDANCE WITH VISITABILITY ORDINANCE NO. 20140130-021 R320.6 BATHROOM ROUTE W/ NO-STEP ENTRY, PROVIDE RAMP BETWEEN GRADE & PORCH IF NEC. - RAMP NOT TO EXCEED 1:12 SLOPE

plans scale to 3/32" = 1'-0" in 11 x17 paper



01 PLAN: UPPER LEVEL NOTED
3/16" = 1'-0"

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
**1100
S 5TH ST**
1100 S 5TH ST
AUSTIN, TX 78704

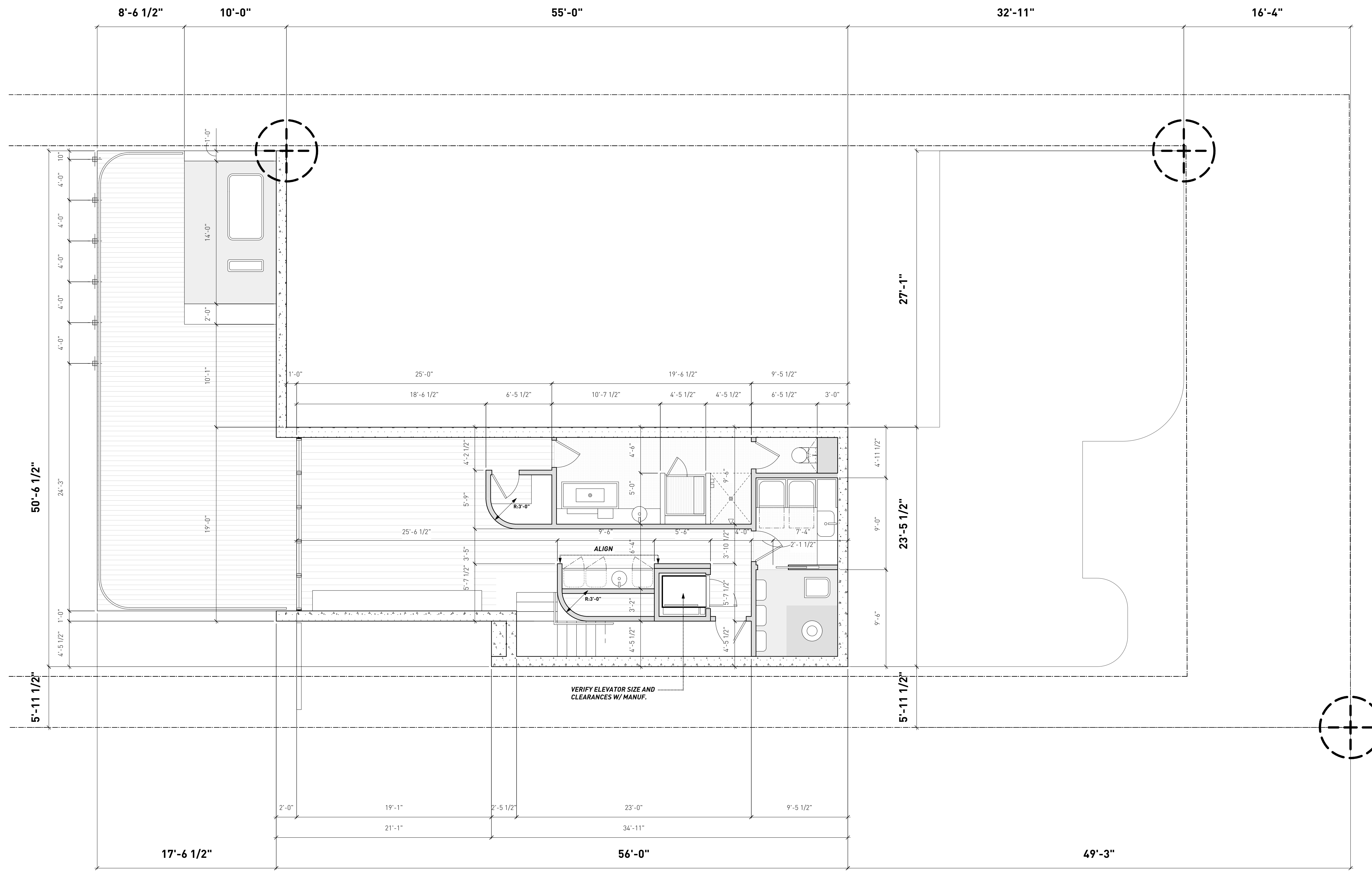
DRAWN BY
FX
AP
BB

SET ISSUED
**PROGRESS SET
2022-04-24**

TITLE OF SHEET
**PLAN:
LOWER LEVEL
DIMENSIONED**

NUMBER OF SHEET
A1.5

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



plans scale to 3/32" = 1'-0" in 11 x17 paper



01

PLAN: LOWER LEVEL DIMENSIONED
3/16" = 1'-0"

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

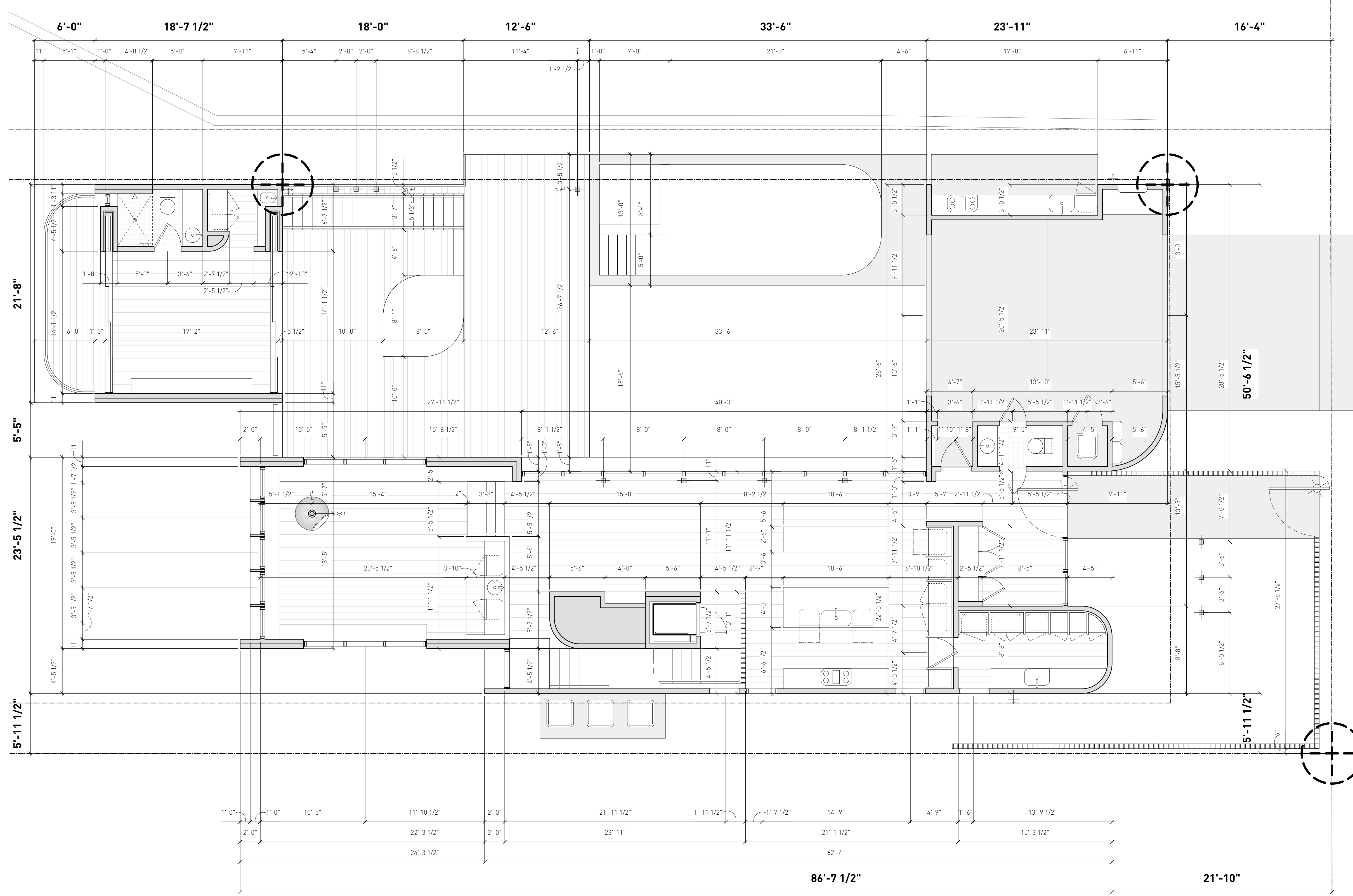
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**PLAN:
MAIN LEVEL
DIMENSIONED**

NUMBER OF SHEET
A1.6

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



plans scale to 3/32" = 1'-0" in 11 x17 paper



01 PLAN: MAIN LEVEL DIMENSIONED
3/16" = 1'-0"

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
**1100
S 5TH ST**
1100 S 5TH ST
AUSTIN, TX 78704

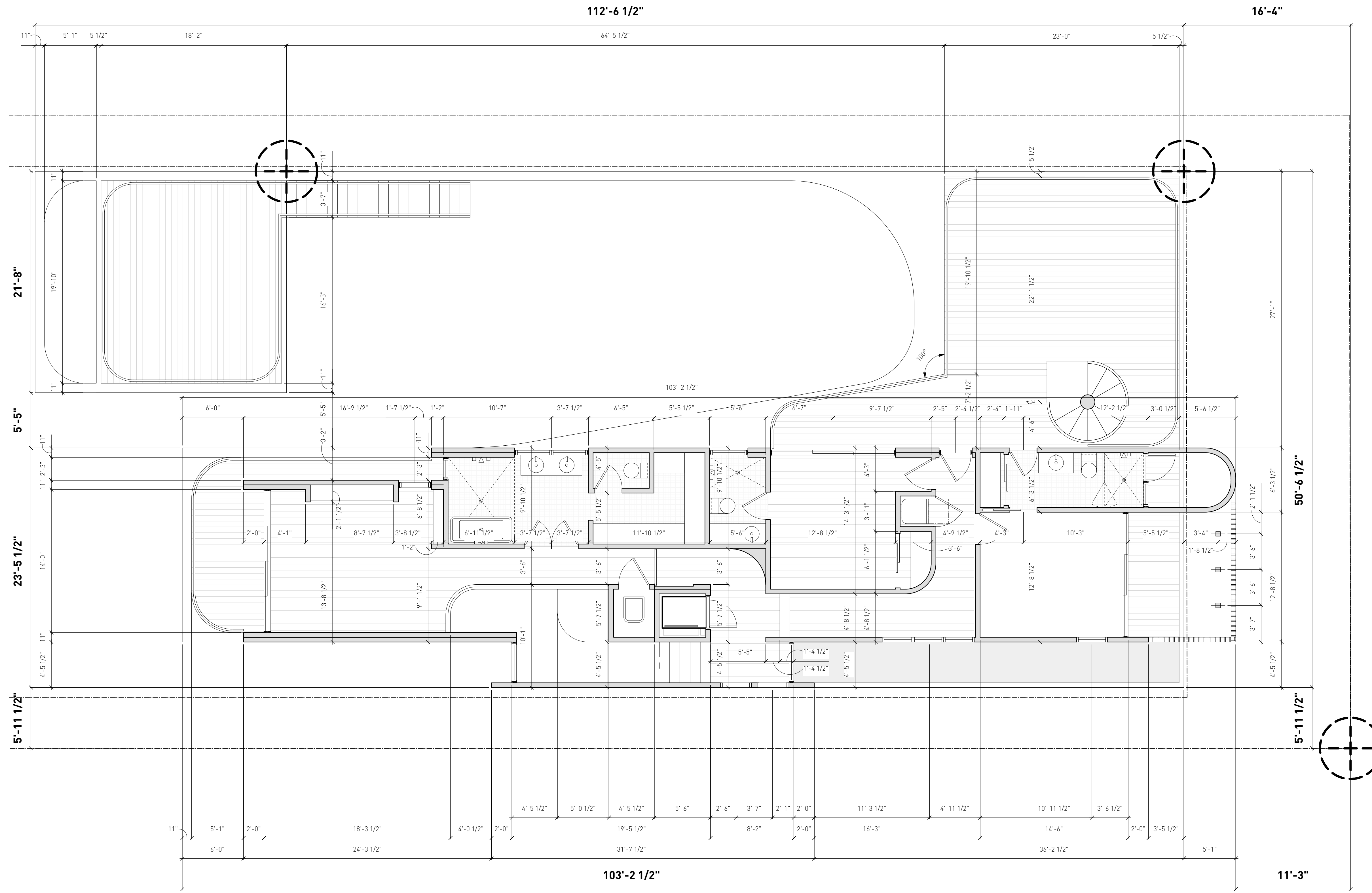
DRAWN BY
FX
AP
BB

SET ISSUED
**PROGRESS SET
2022-04-24**

TITLE OF SHEET
**PLAN:
UPPER LEVEL
DIMENSIONED**

NUMBER OF SHEET
A1.7

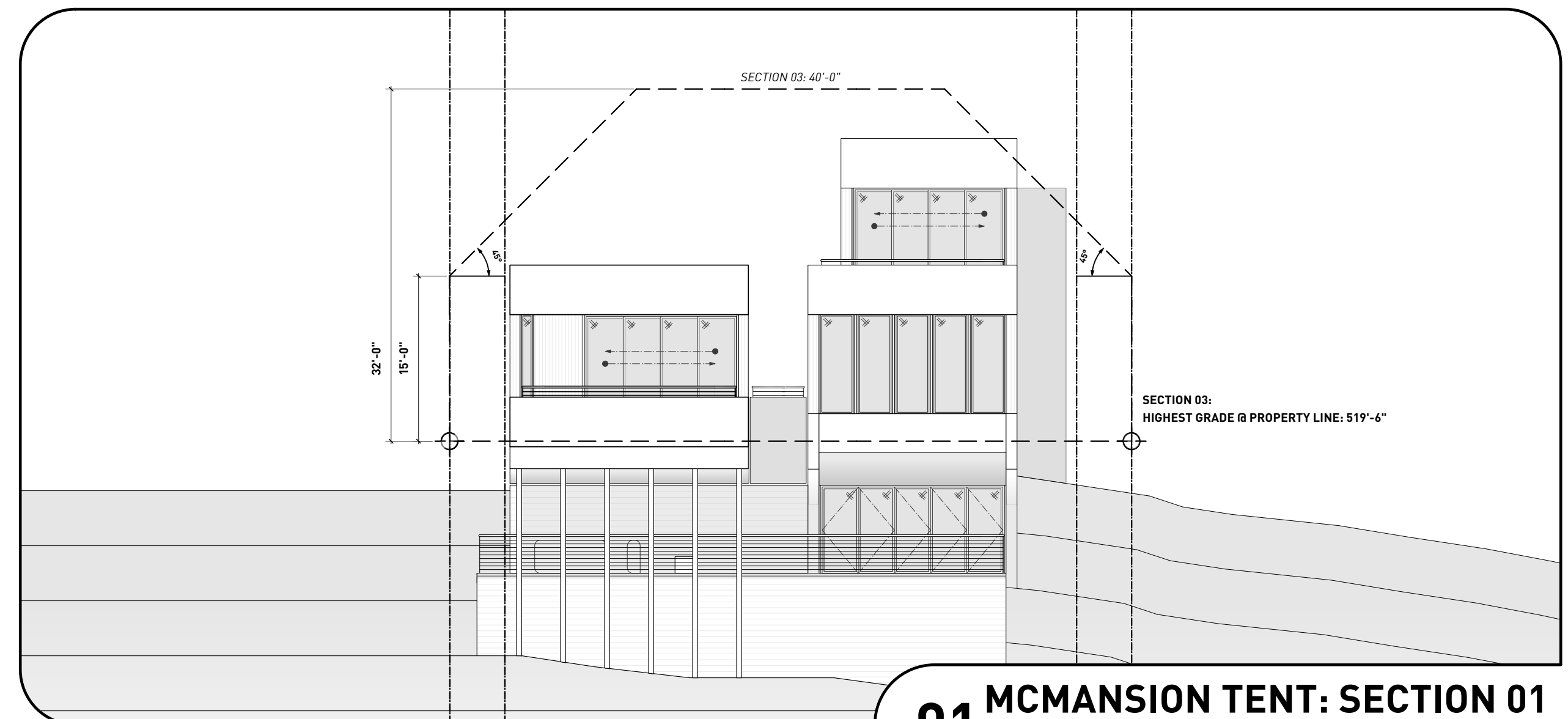
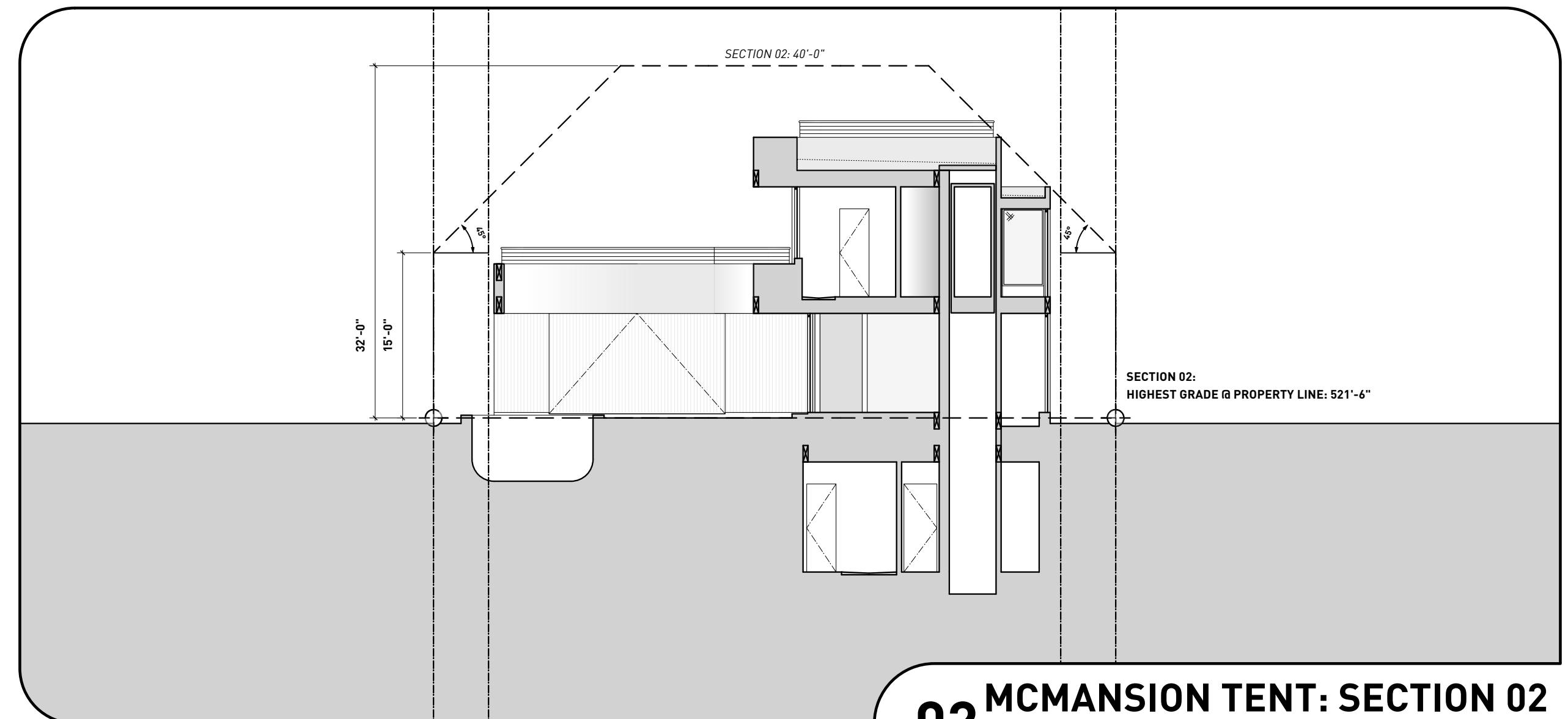
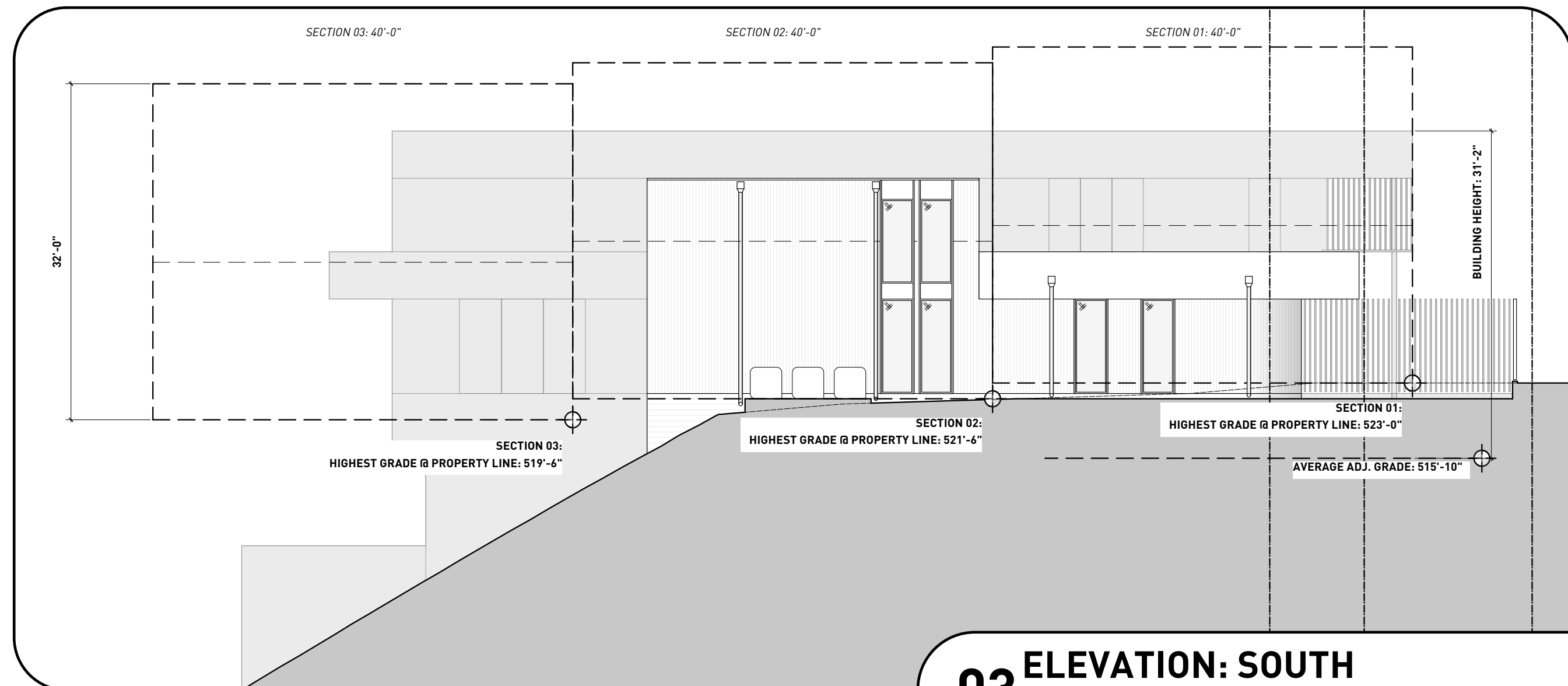
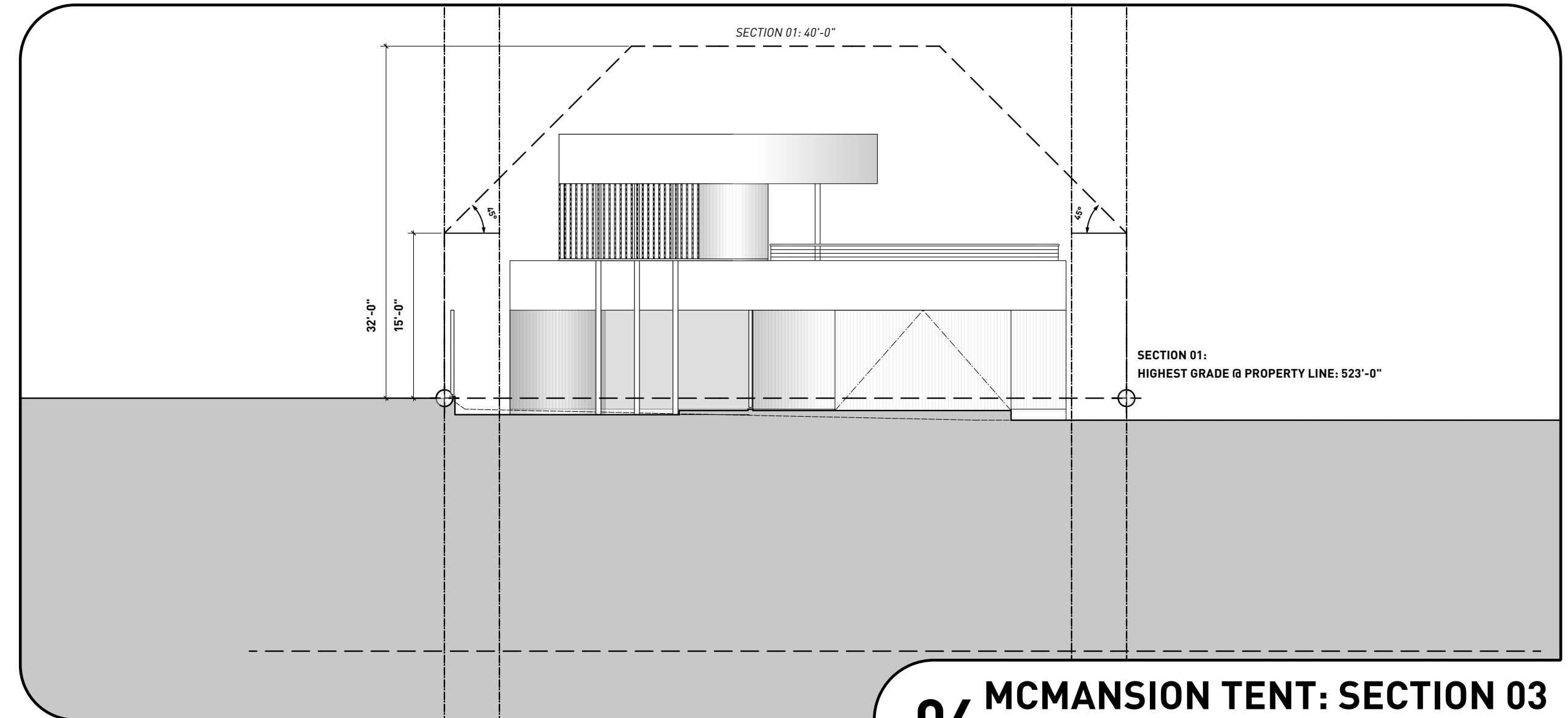
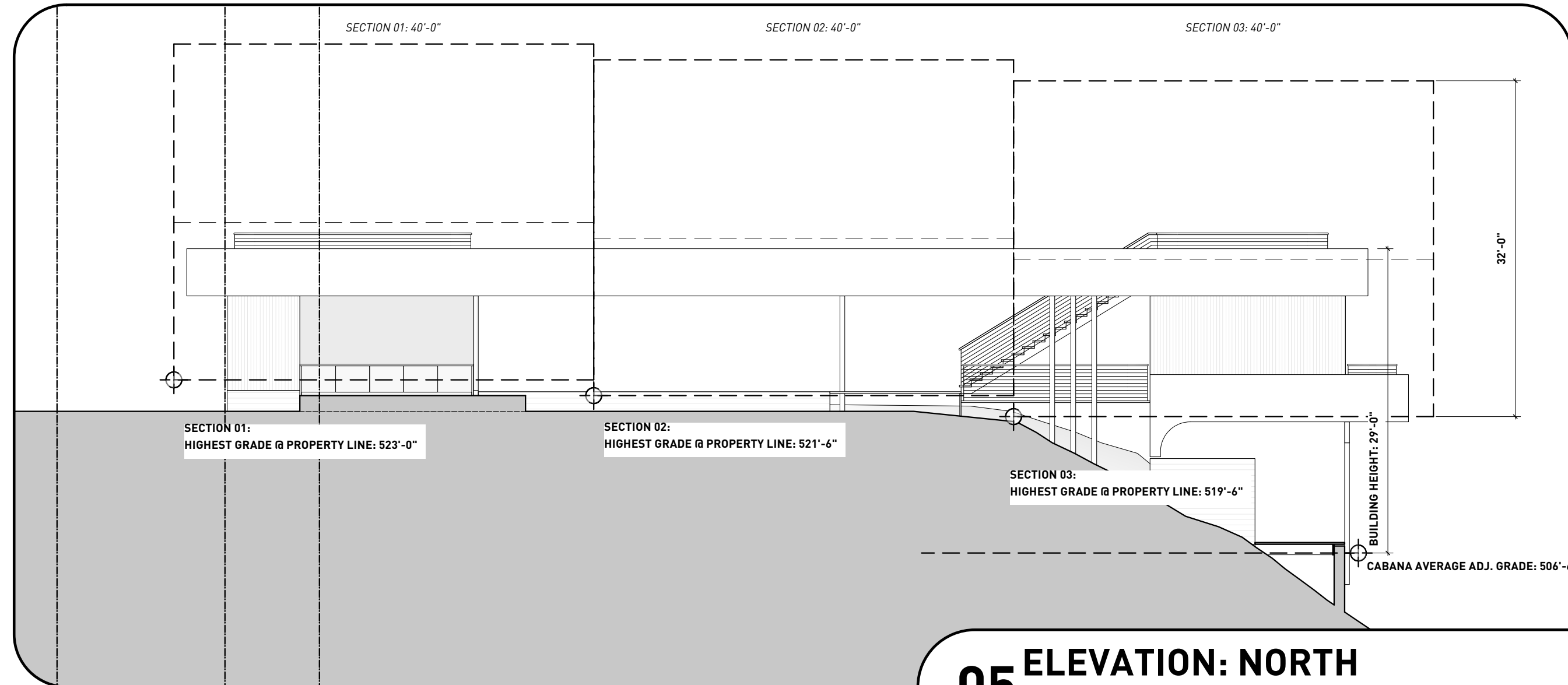
CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



plans scale to 3/32" = 1'-0" in 11 x17 paper

01 PLAN: UPPER LEVEL DIMENSIONED
3/16" = 1'-0"

drawings scale to 3/64" = 1'-0" in 11x17 paper



NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**ELEVATIONS:
MCMANSION**

NUMBER OF SHEET
A3.0

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT

drawings scale to 3/64" = 1'-0" in 11x17 paper

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

1100
S 5TH ST

1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

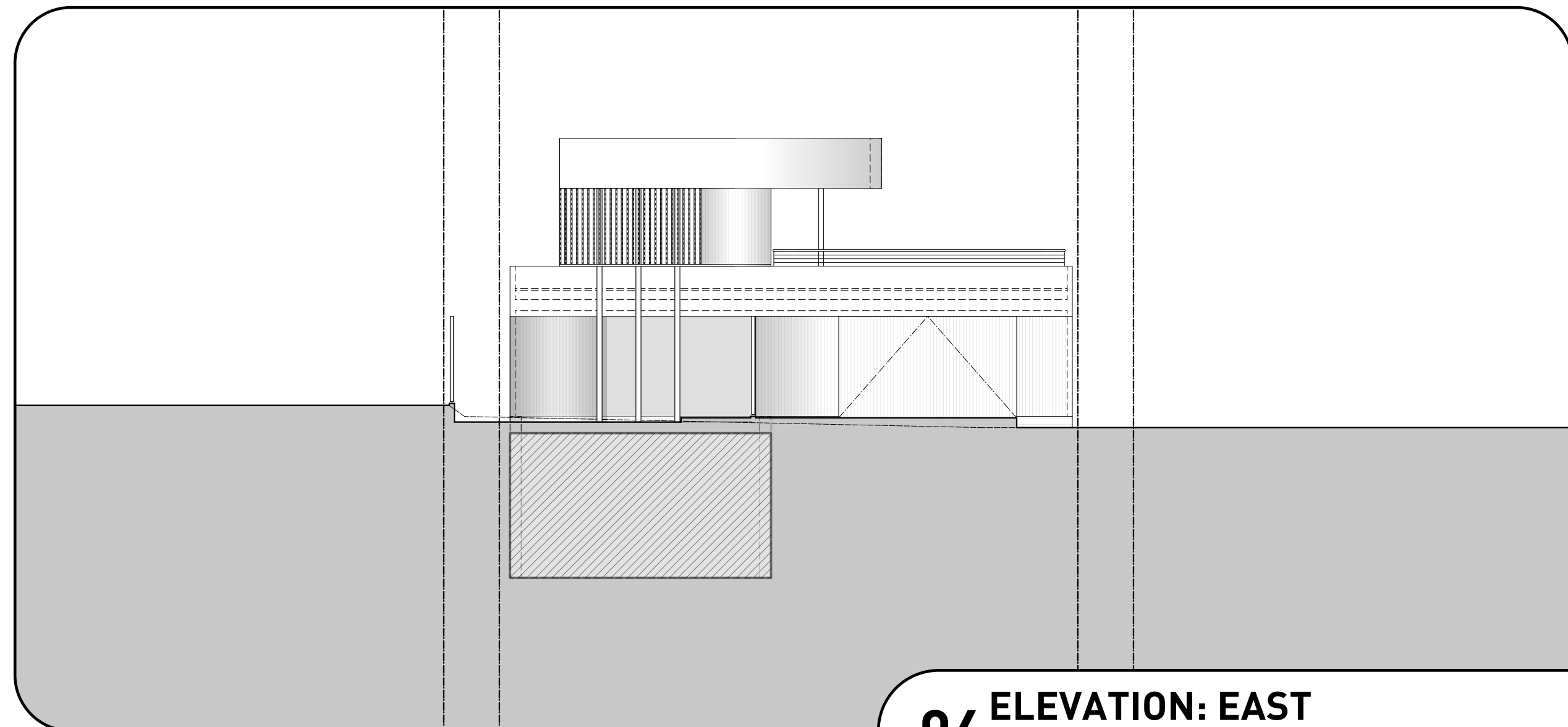
SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
ELEVATIONS:
BASEMENT
EXHIBIT

NUMBER OF SHEET

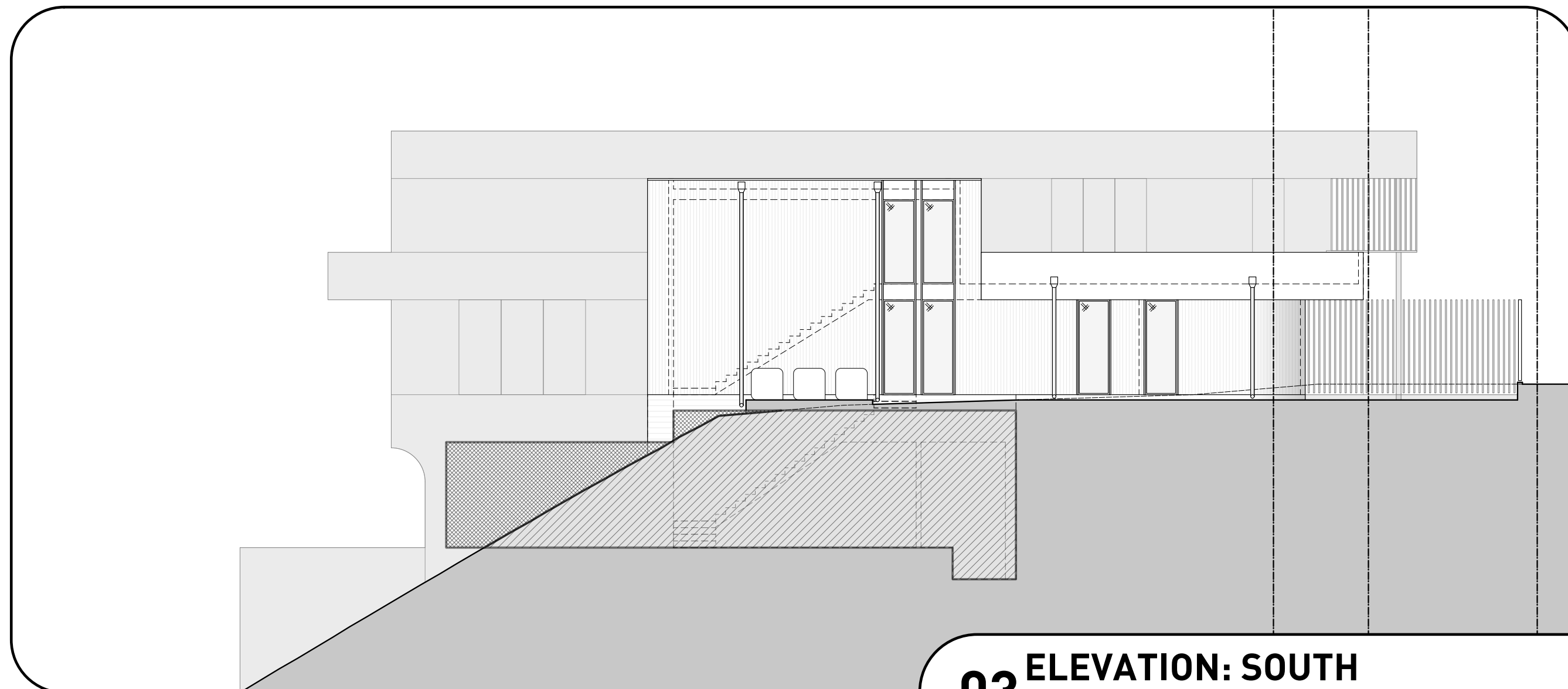
A3.1

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



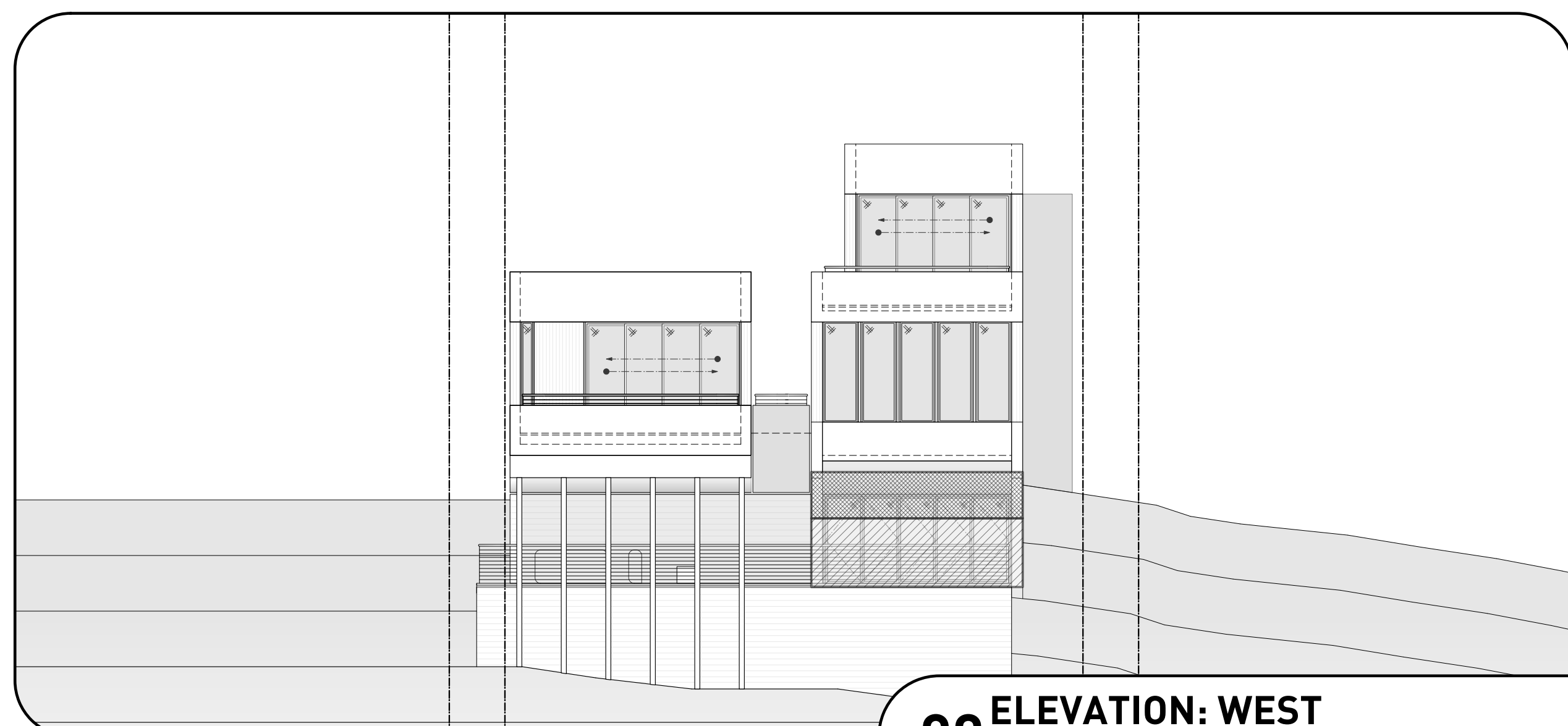
04 ELEVATION: EAST
3/32" = 1'-0"

LEGEND		TOTAL SF OF BASEMENT WALL 305 SF 100%		SF OF BASEMENT WALL ABOVE GRADE 0 SF 0%		SF OF BASEMENT WALL BELOW GRADE 305 SF 100%



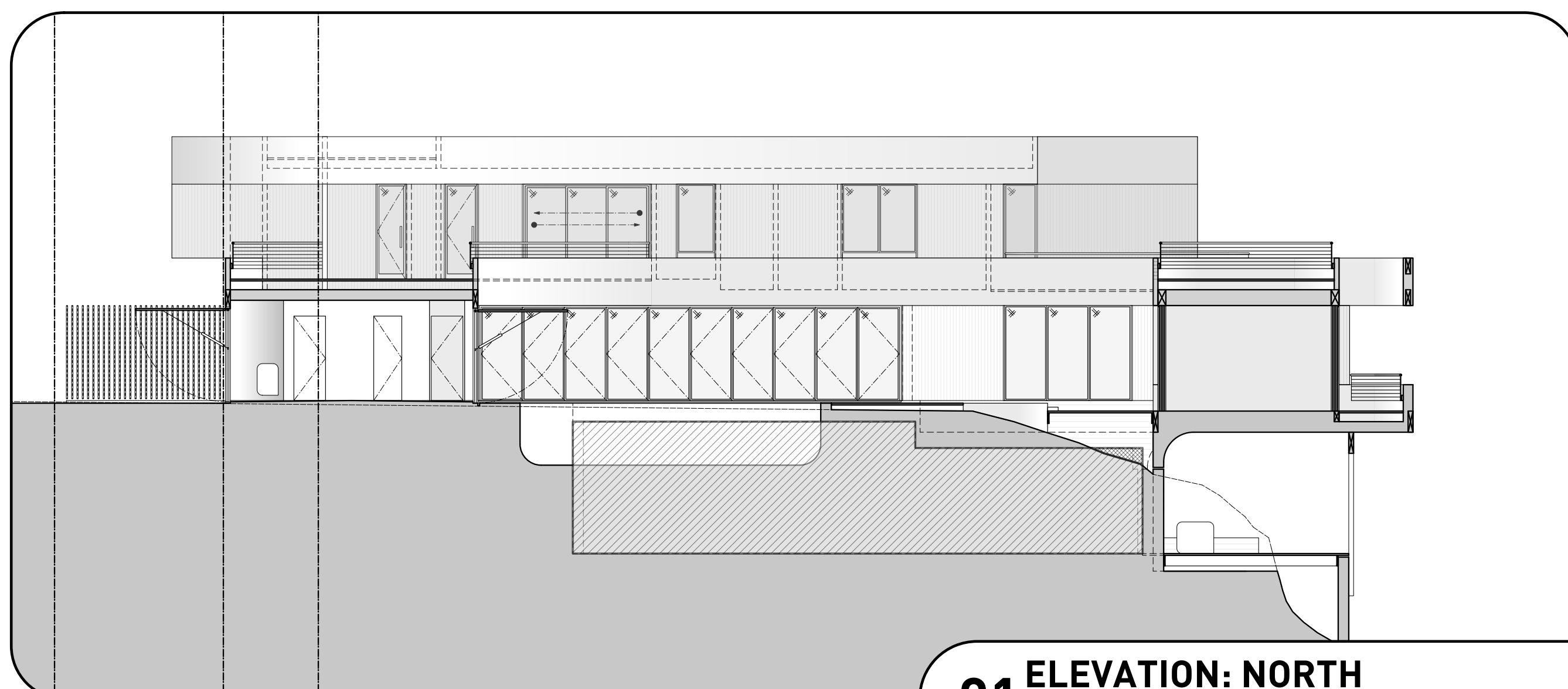
03 ELEVATION: SOUTH
3/32" = 1'-0"

LEGEND		TOTAL SF OF BASEMENT WALL 655 SF 100%		SF OF BASEMENT WALL ABOVE GRADE 132 SF 20%		SF OF BASEMENT WALL BELOW GRADE 523 SF 80%



02 ELEVATION: WEST
3/32" = 1'-0"

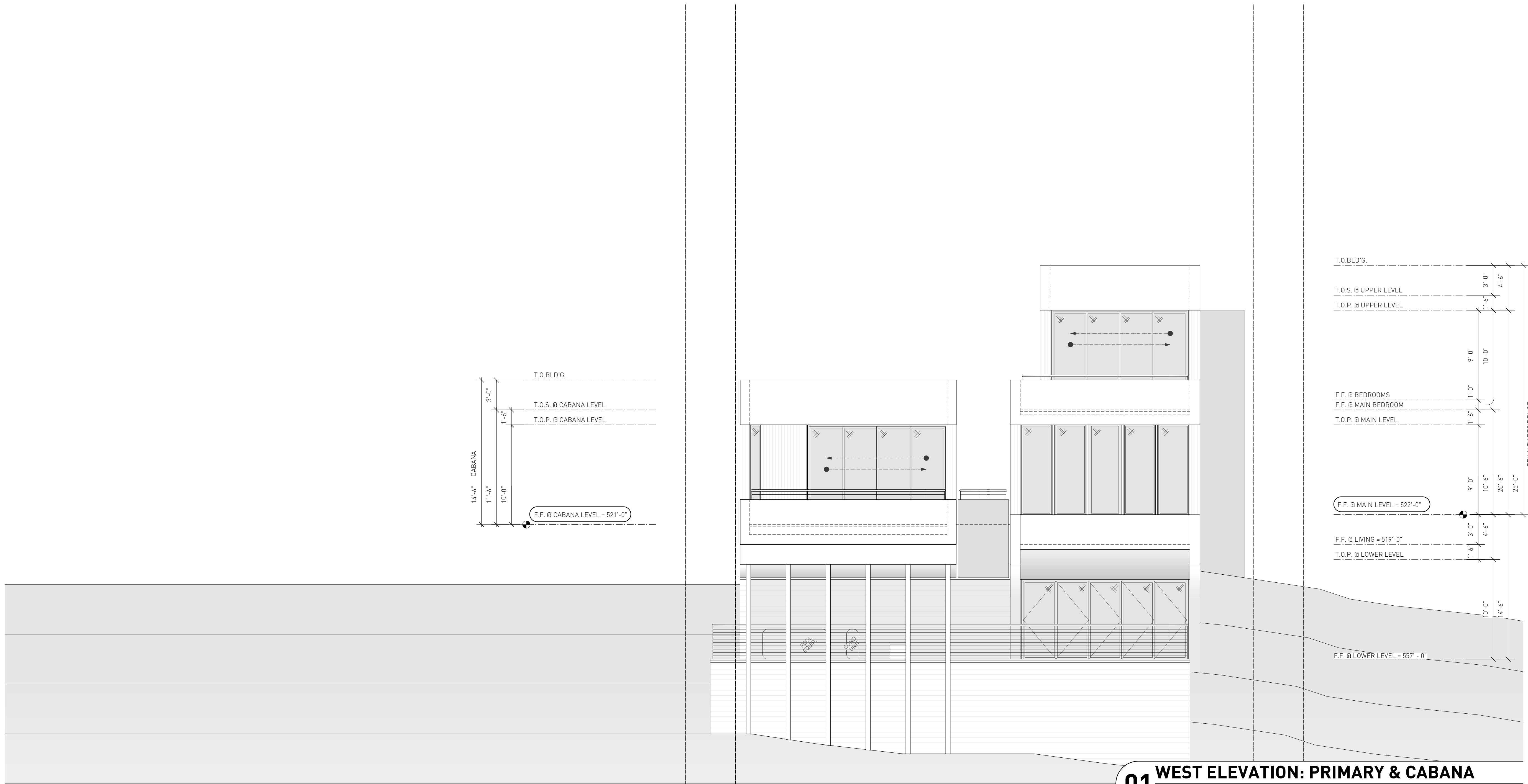
LEGEND		TOTAL SF OF BASEMENT WALL 197 SF 100%		SF OF BASEMENT WALL ABOVE GRADE 79 SF 40%		SF OF BASEMENT WALL BELOW GRADE 118 SF 60%



01 ELEVATION: NORTH
3/32" = 1'-0"

LEGEND		TOTAL SF OF BASEMENT WALL 621 SF 100%		SF OF BASEMENT WALL ABOVE GRADE 4 SF .5%		SF OF BASEMENT WALL BELOW GRADE 617 SF 99.5%

TOTALS		TOTAL SF OF BASEMENT WALLS 621 + 197 + 655 + 305 = 1778 SF = 100%		SF OF BASEMENT WALL ABOVE GRADE 4 + 79 + 132 + 0 = 215 SF = 12%		SF OF BASEMENT WALL BELOW GRADE 617 + 118 + 523 + 305 = 1563 SF = 88%



ELEVATION KEY		
01. PROPERTY LINE	17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
02. SETBACK LINE	18. PTD. STL. POST; SEE STRUCT.	-STAINED BLACK
03. DASHED LINE OF EXT'G. NATURAL GRADE	19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.	32. BLDG. BEYOND
04. DASHED LINE OF STRUCTURE BEYOND	20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.	33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
05. VERTICAL BOARD FORMED CONCRETE	21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES	34. ENTRY LANTERN; SEE RCP & STRUCT.
06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW.; HARDIE TO MATCH WDW. FINISH	22. CONC. POOL COPING	-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271	23. LED COVE FRAMED W/PTD. 2x4 BLOCKING; SEE RCP	-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL	24. INTEGRATED TPO GUTTER; SEE ROOF PLAN	35. LINE OF DRIVEWAY
09. LIGHT FIXTURE; SEE RCP	25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	36. CONC. FLATWORK
10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING	26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271	37. OUTDOOR KITCHEN
-STAINED BLACK	27. TRELLIS - TBD	38. CONC. WALL BEYOND
-W/ STAGGERED JOINTS	28. PRE-FINISHED MTL. FLASHING	39. LINEAR DRAIN - DRAIN TO DAYLIGHT
-SEE DETAIL	29. CONC. DRIVEWAY	40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.
11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN	30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA	
12. DASHED LINE OF DRAINAGE PLANE		
13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL		
14. PRE-FINISHED MTL. COPING		
15. DASHED LINE OF BASEMENT		
16. PTD. PLT. STL. LANDSCAPE EDGING		

GENERAL NOTES
01. VERIFY ALL DIMENSIONS W/ OWNER
02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

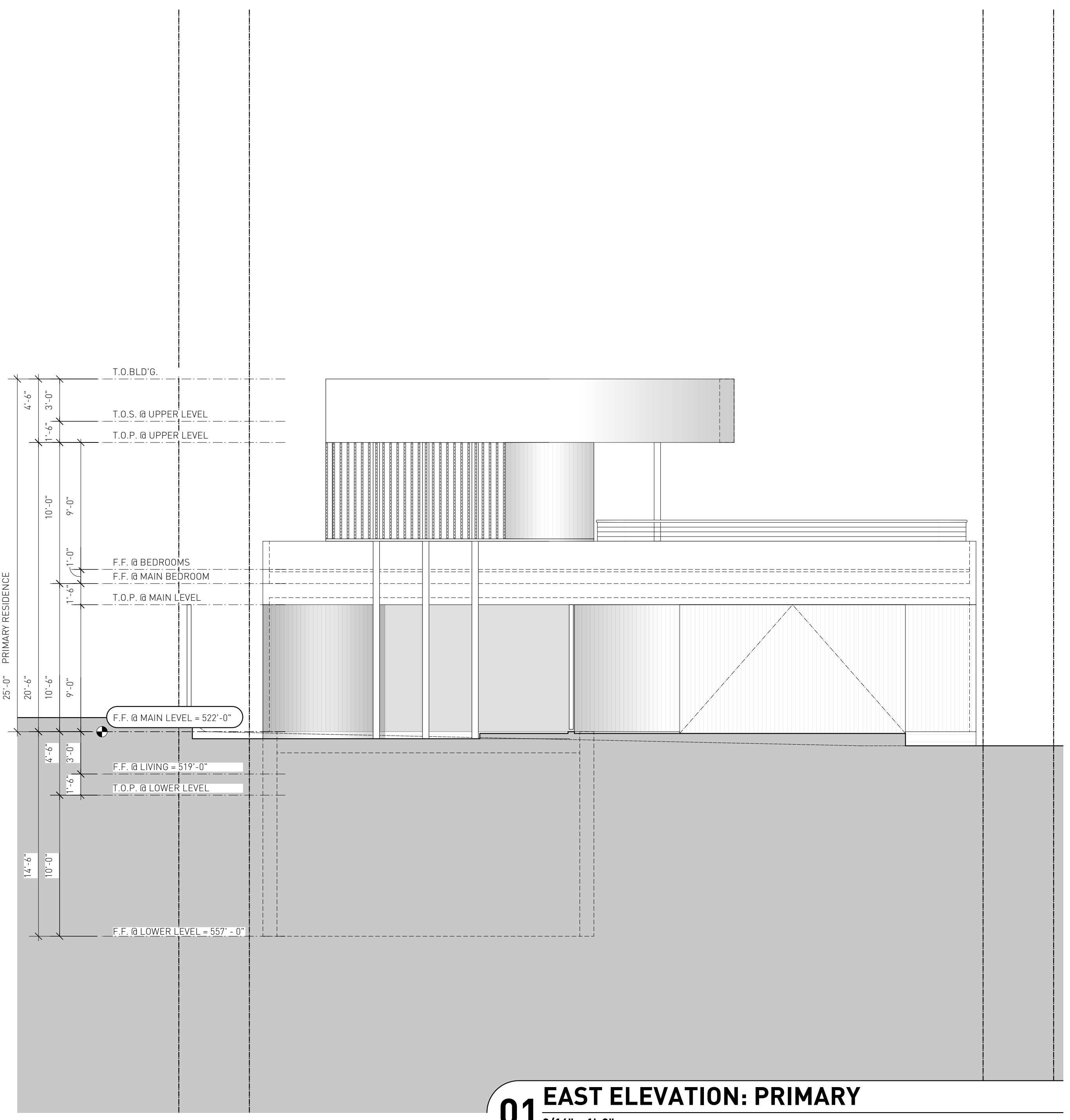
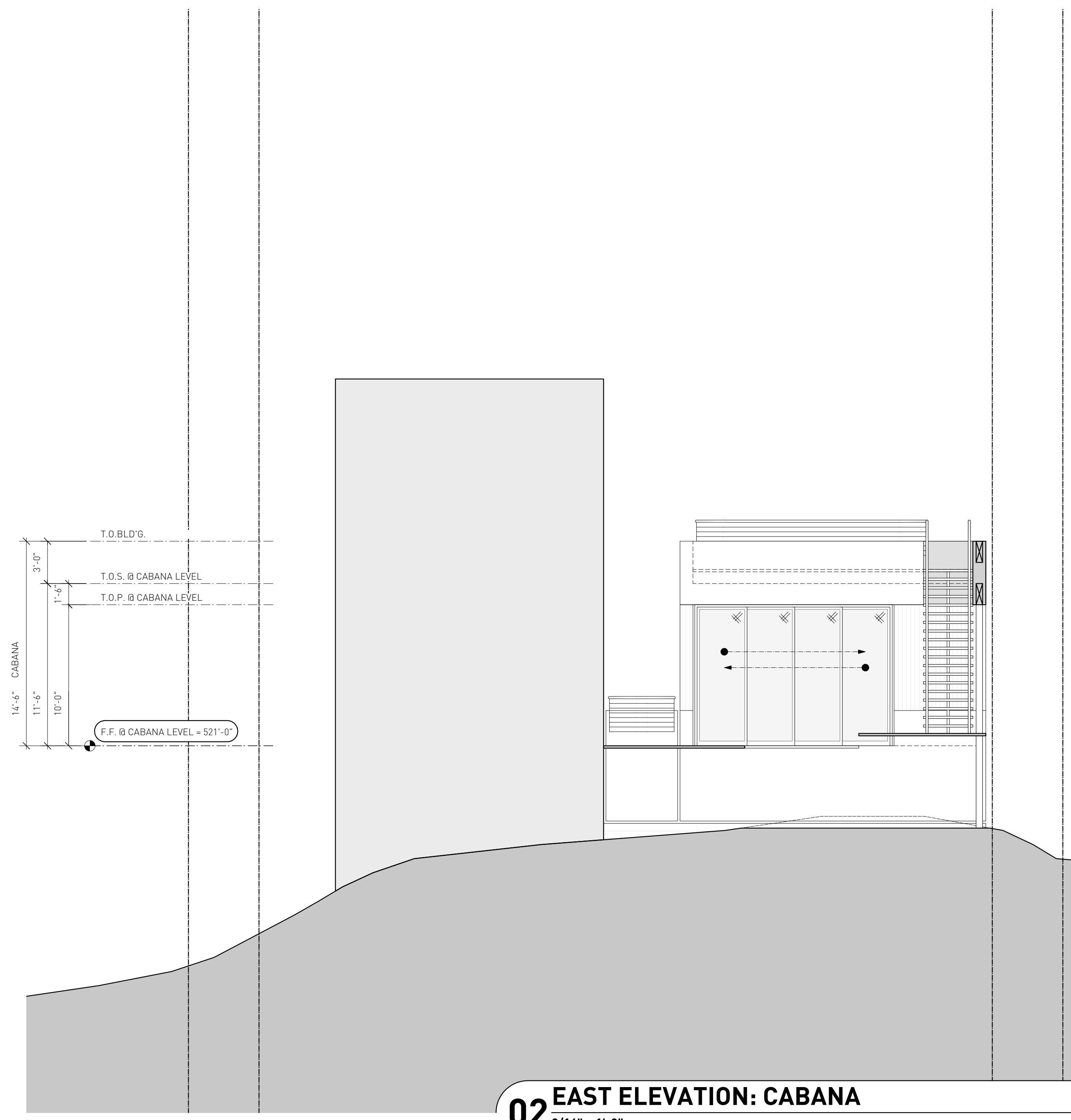
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**EAST
ELEVATION:
PRIMARY &
CABANA**

NUMBER OF SHEET
A3.3

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



ELEVATION KEY

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> 01. PROPERTY LINE 02. SETBACK LINE 03. DASHED LINE OF EXT'G. NATURAL GRADE 04. DASHED LINE OF STRUCTURE BEYOND 05. VERTICAL BOARD FORMED CONCRETE 06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH 07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271 08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL 09. LIGHT FIXTURE, SEE RCP 10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL 11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN 12. DASHED LINE OF DRAINAGE PLANE 13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL 14. PRE-FINISHED MTL. COPING 15. DASHED LINE OF BASEMENT 16. PTD. PLT. STL. LANDSCAPE EDGING | <ul style="list-style-type: none"> 17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT 18. PTD. STL. POST; SEE STRUCT. 19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH. 20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH. 21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES 22. CONC. POOL COPING 23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP 24. INTEGRATED TPO GUTTER; SEE ROOF PLAN 25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT 26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271 27. TRELIS - TBD 28. PRE-FINISHED MTL. FLASHING 29. CONC. DRIVEWAY 30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA | <ul style="list-style-type: none"> 31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK 32. BLDG. BEYOND 33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT. 34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM 35. LINE OF DRIVEWAY 36. CONC. FLATWORK 37. OUTDOOR KITCHEN 38. CONC. WALL BEYOND 39. LINEAR DRAIN - DRAIN TO DAYLIGHT 40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT. |
|--|---|--|

GENERAL NOTES

- 01. VERIFY ALL DIMENSIONS W/ OWNER
- 02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

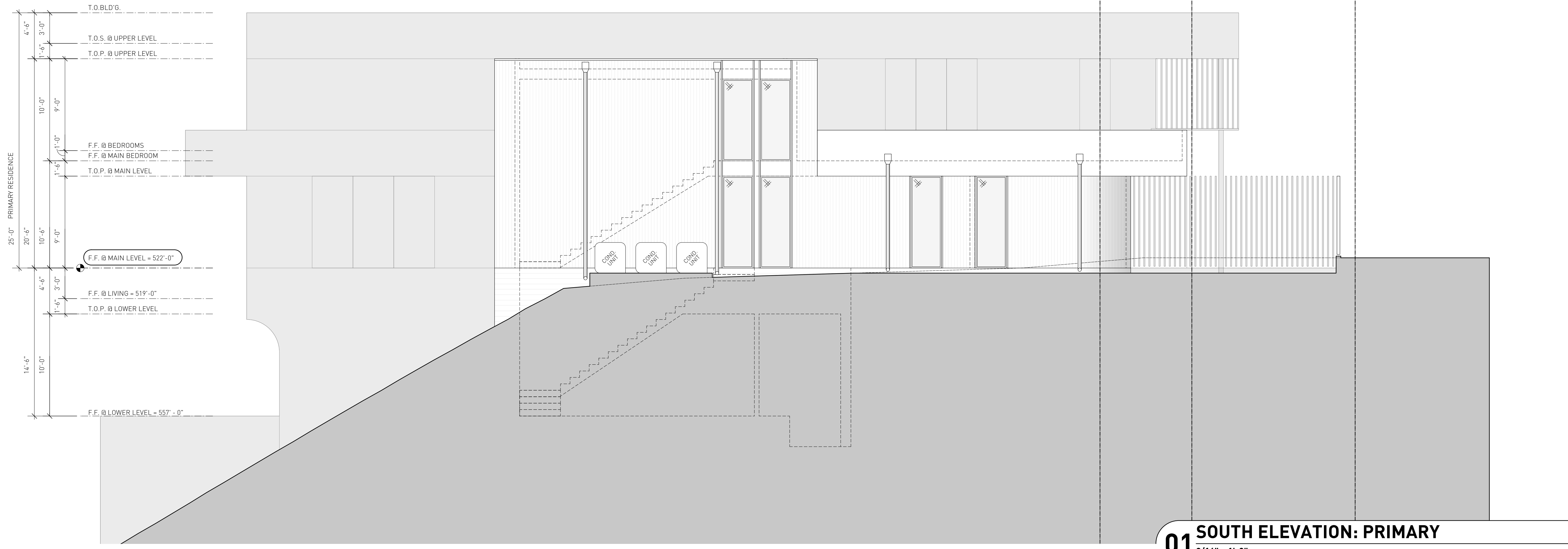
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**SOUTH ELEVATION:
PRIMARY**

NUMBER OF SHEET
A3.4

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



01 SOUTH ELEVATION: PRIMARY
3/16" = 1'-0"

ELEVATION KEY		
01. PROPERTY LINE	17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
02. SETBACK LINE	18. PTD. STL. POST; SEE STRUCT.	-STAINED BLACK
03. DASHED LINE OF EXT'G. NATURAL GRADE	19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.	32. BLDG. BEYOND
04. DASHED LINE OF STRUCTURE BEYOND	20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.	33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
05. VERTICAL BOARD FORMED CONCRETE	21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES	34. ENTRY LANTERN; SEE RCP & STRUCT.
06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW.; HARDIE TO MATCH WDW. FINISH	22. CONC. POOL COPING	-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271	23. LED COVE FRAMED W/PTD. 2x4 BLOCKING; SEE RCP	-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL	24. INTEGRATED TPO GUTTER; SEE ROOF PLAN	35. LINE OF DRIVEWAY
09. LIGHT FIXTURE; SEE RCP	25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	36. CONC. FLATWORK
10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING -STAINED BLACK -W/ STAGGERED JOINTS -SEE DETAIL	26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271	37. OUTDOOR KITCHEN
11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN	27. TRELLIS - TBD	38. CONC. WALL BEYOND
12. DASHED LINE OF DRAINAGE PLANE	28. PRE-FINISHED MTL. FLASHING	39. LINEAR DRAIN - DRAIN TO DAYLIGHT
13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL	29. CONC. DRIVEWAY	40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.
14. PRE-FINISHED MTL. COPING	30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA	
15. DASHED LINE OF BASEMENT		
16. PTD. P.L.T. STL. LANDSCAPE EDGING		

GENERAL NOTES

01. VERIFY ALL DIMENSIONS W/ OWNER
02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

SEAL

FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

**1100
S 5TH ST**

1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY

FX
AP
BB

SET ISSUED

**PROGRESS SET
2022-04-24**

TITLE OF SHEET

**SOUTH
ELEVATION:
CABANA**

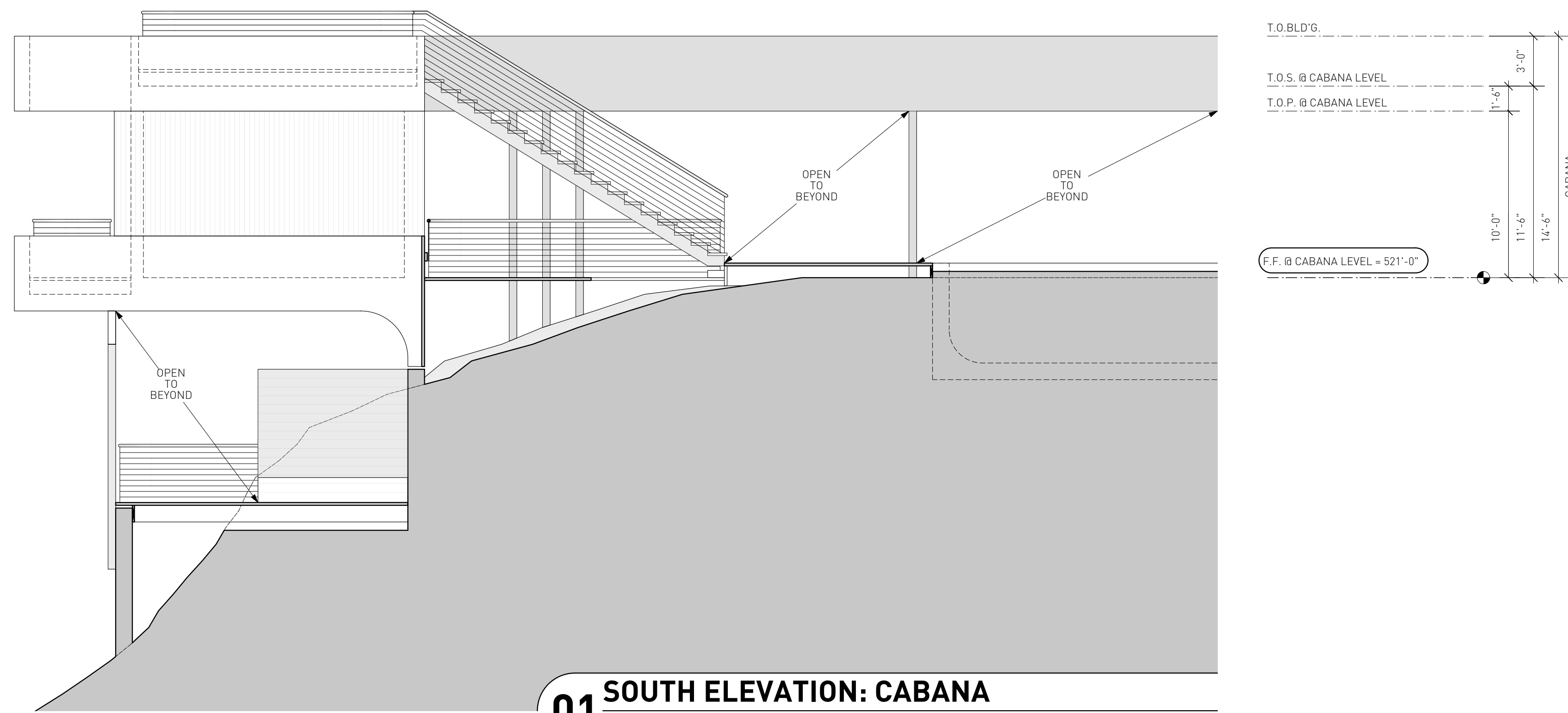
NUMBER OF SHEET

A3.5

CAUTION

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



ELEVATION KEY

- | | | |
|--|--|--|
| <p>01. PROPERTY LINE
02. SETBACK LINE
03. DASHED LINE OF EXT'G. NATURAL GRADE
04. DASHED LINE OF STRUCTURE BEYOND
05. VERTICAL BOARD FORMED CONCRETE
06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH
07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271
08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL
09. LIGHT FIXTURE, SEE RCP
10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL
11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN
12. DASHED LINE OF DRAINAGE PLANE
13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL
14. PRE-FINISHED MTL. COPING
15. DASHED LINE OF BASEMENT
16. PTD. PLT. STL. LANDSCAPE EDGING</p> | <p>17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
18. PTD. STL. POST; SEE STRUCT.
19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.
20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.
21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES
22. CONC. POOL COPING
23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP
24. INTEGRATED TPO GUTTER; SEE ROOF PLAN
25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271
27. TRELLIS - TBD
28. PRE-FINISHED MTL. FLASHING
29. CONC. DRIVEWAY
30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA</p> | <p>31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK
32. BLDG. BEYOND
33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
35. LINE OF DRIVEWAY
36. CONC. FLATWORK
37. OUTDOOR KITCHEN
38. CONC. WALL BEYOND
39. LINEAR DRAIN - DRAIN TO DAYLIGHT
40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.</p> |
|--|--|--|

GENERAL NOTES

01. VERIFY ALL DIMENSIONS W/ OWNER
02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
1100 S 5TH ST
1100 S 5TH ST
AUSTIN, TX 78704

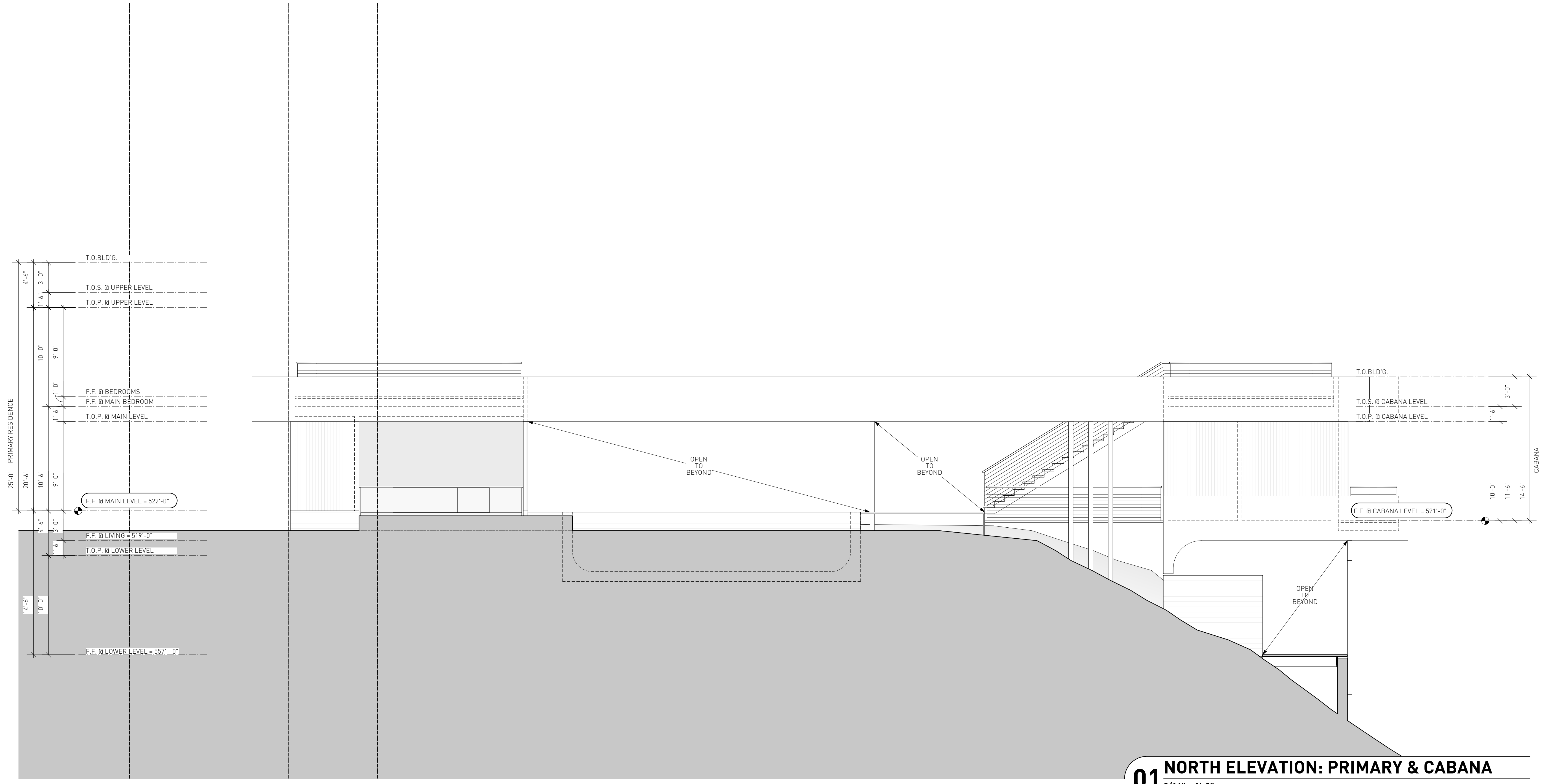
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-04-24

TITLE OF SHEET
**NORTH
ELEVATION:
PRIMARY &
CABANA**

NUMBER OF SHEET
A3.6

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



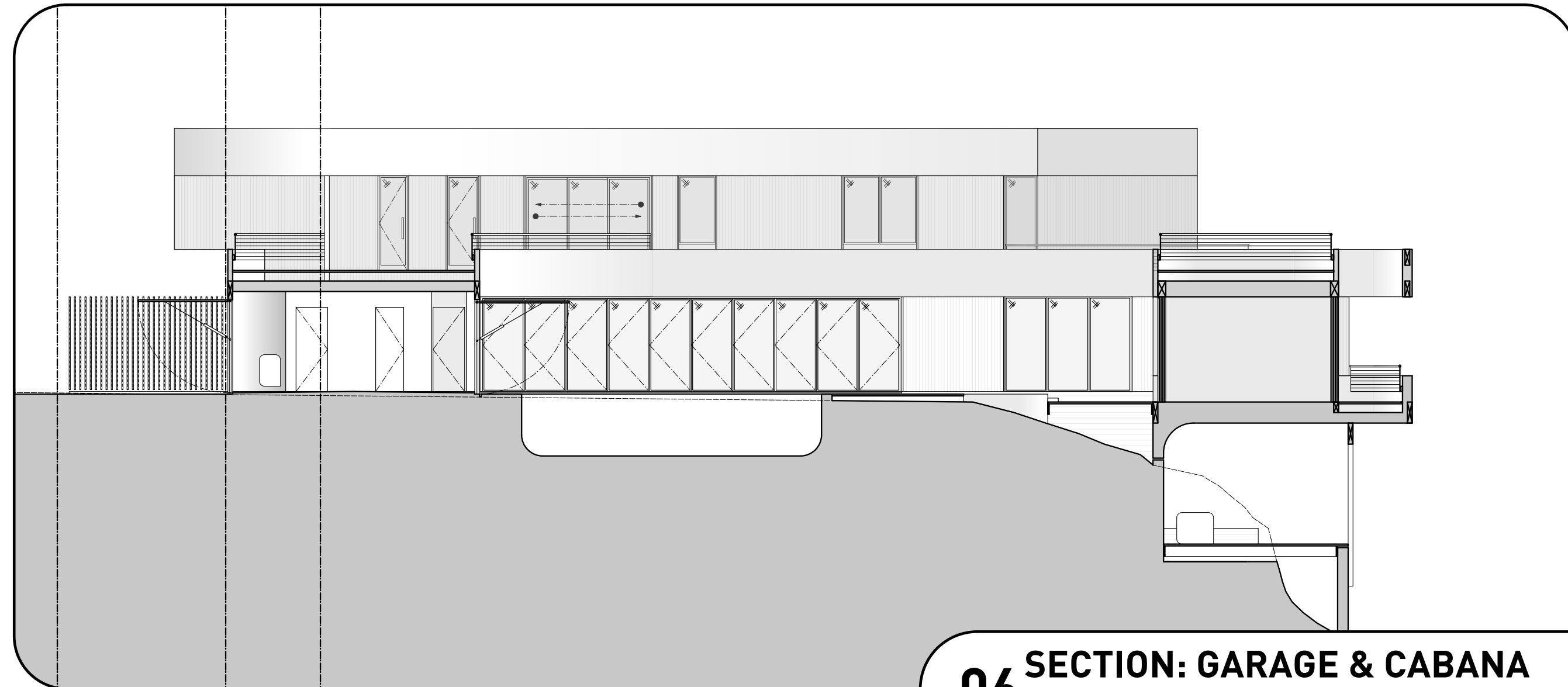
01 NORTH ELEVATION: PRIMARY & CABANA
3/16" = 1'-0"

ELEVATION KEY		
01. PROPERTY LINE	17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
02. SETBACK LINE	18. PTD. STL. POST; SEE STRUCT.	-STAINED BLACK
03. DASHED LINE OF EXT'G. NATURAL GRADE	19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.	32. BLDG. BEYOND
04. DASHED LINE OF STRUCTURE BEYOND	20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.	33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
05. VERTICAL BOARD FORMED CONCRETE	21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES	34. ENTRY LANTERN; SEE RCP & STRUCT.
06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW.; HARDIE TO MATCH WDW. FINISH	22. CONC. POOL COPING	-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271	23. LED COVE FRAMED W/PTD. 2x4 BLOCKING; SEE RCP	-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL	24. INTEGRATED TPO GUTTER; SEE ROOF PLAN	35. LINE OF DRIVEWAY
09. LIGHT FIXTURE; SEE RCP	25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	36. CONC. FLATWORK
10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING	26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271	37. OUTDOOR KITCHEN
-STAINED BLACK	27. TRELLIS - TBD	38. CONC. WALL BEYOND
-W/ STAGGERED JOINTS	28. PRE-FINISHED MTL. FLASHING	39. LINEAR DRAIN - DRAIN TO DAYLIGHT
-SEE DETAIL	29. CONC. DRIVEWAY	40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.
11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN	30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA	
12. DASHED LINE OF DRAINAGE PLANE		
13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL		
14. PRE-FINISHED MTL. COPING		
15. DASHED LINE OF BASEMENT		
16. PTD. P.L.T. LANDSCAPE EDGING		

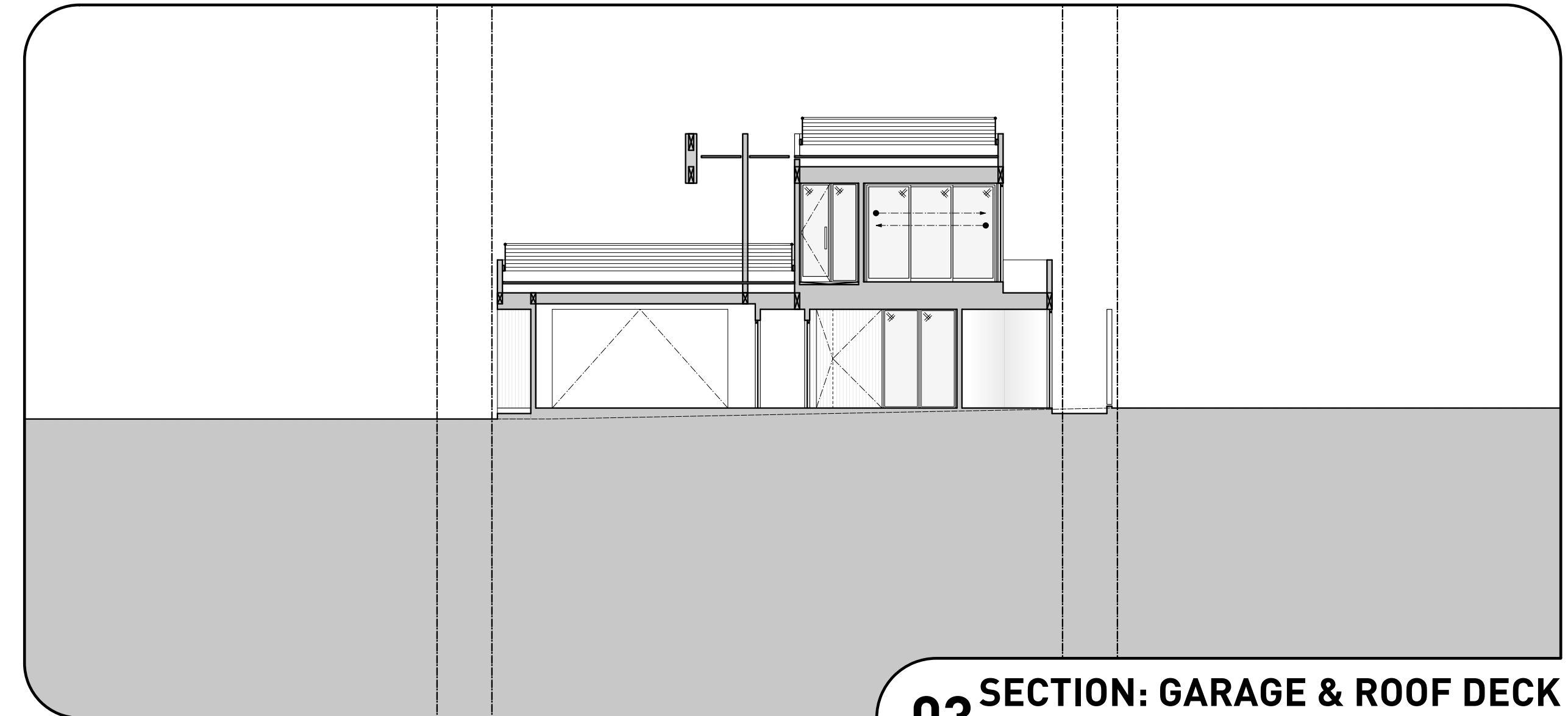
GENERAL NOTES

01. VERIFY ALL DIMENSIONS W/ OWNER
02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

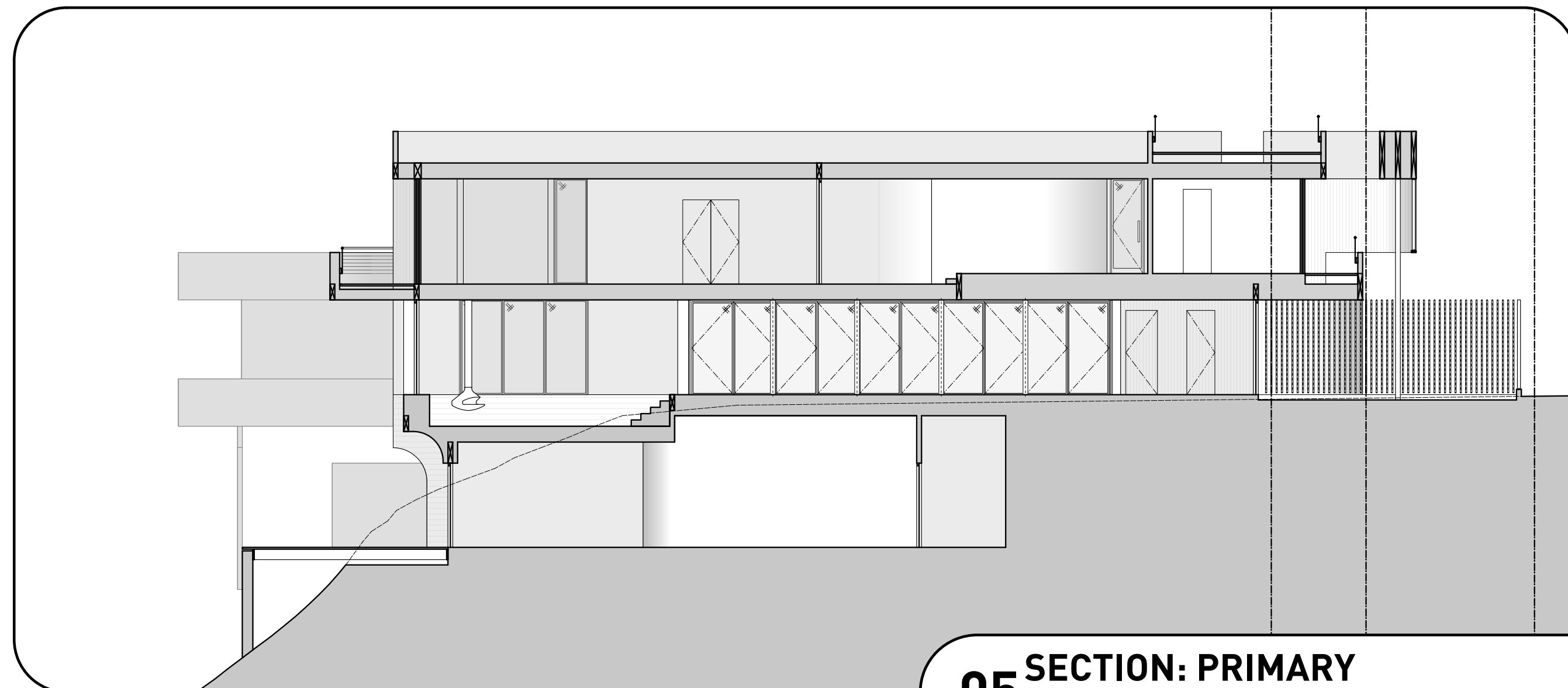
drawings scale to 3/64" = 1'-0" in 11x17 paper



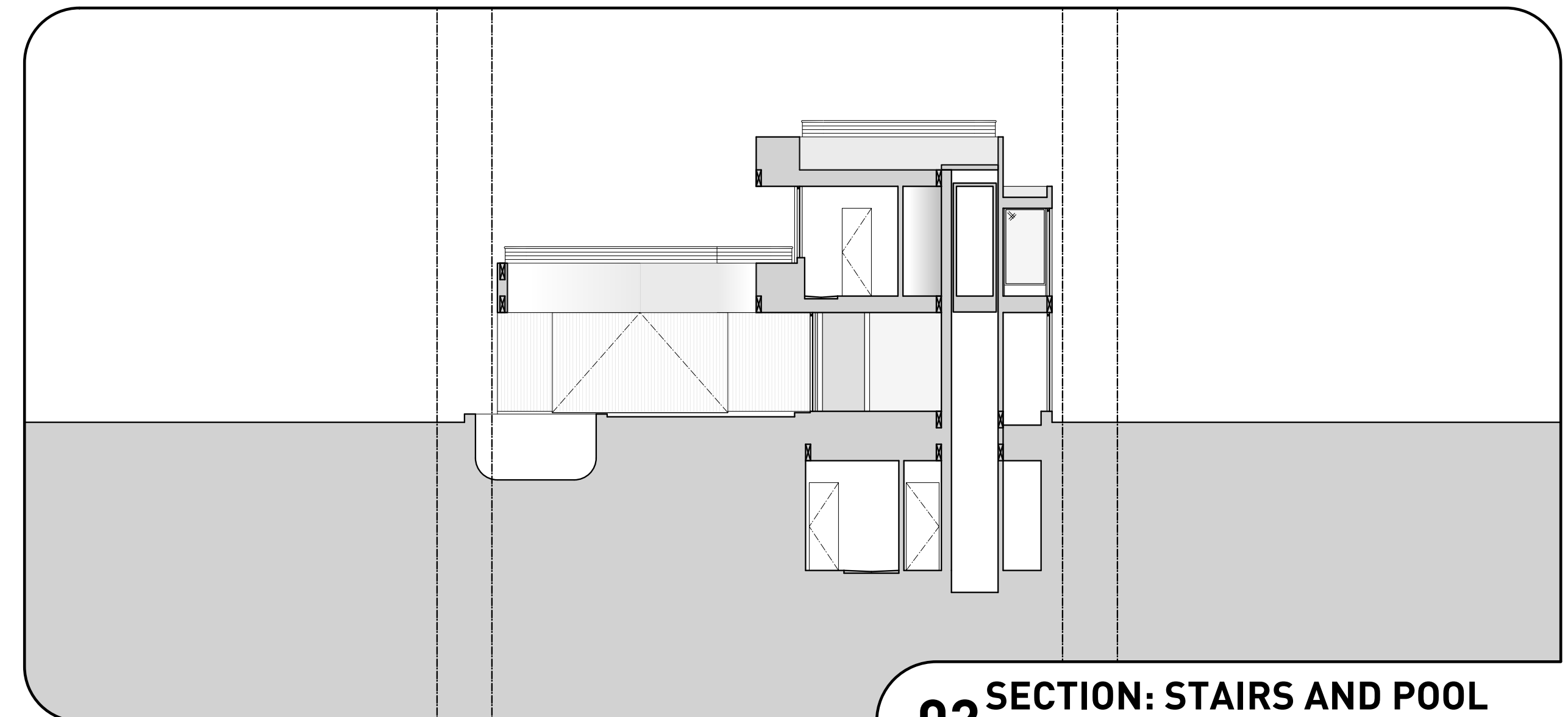
06 SECTION: GARAGE & CABANA
3/32" = 1'-0"



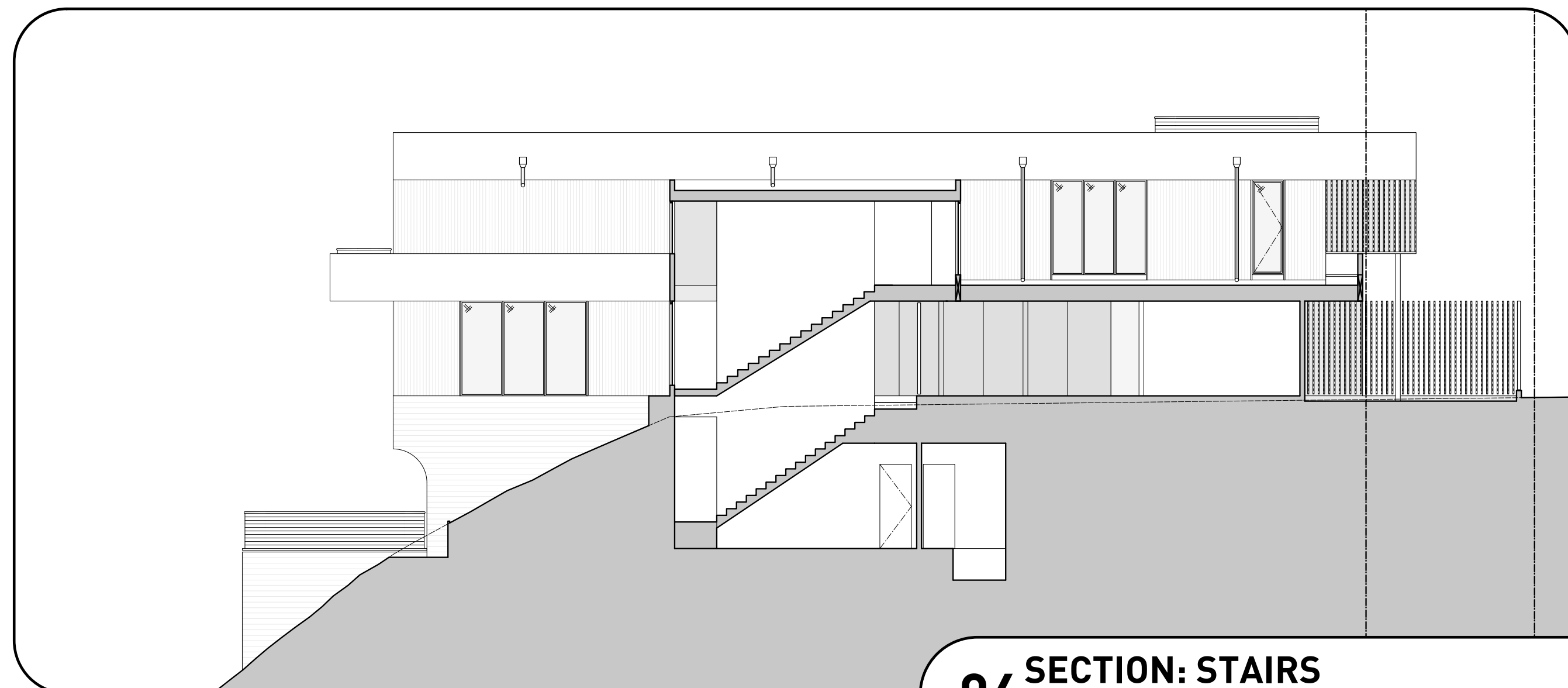
03 SECTION: GARAGE & ROOF DECK
3/32" = 1'-0"



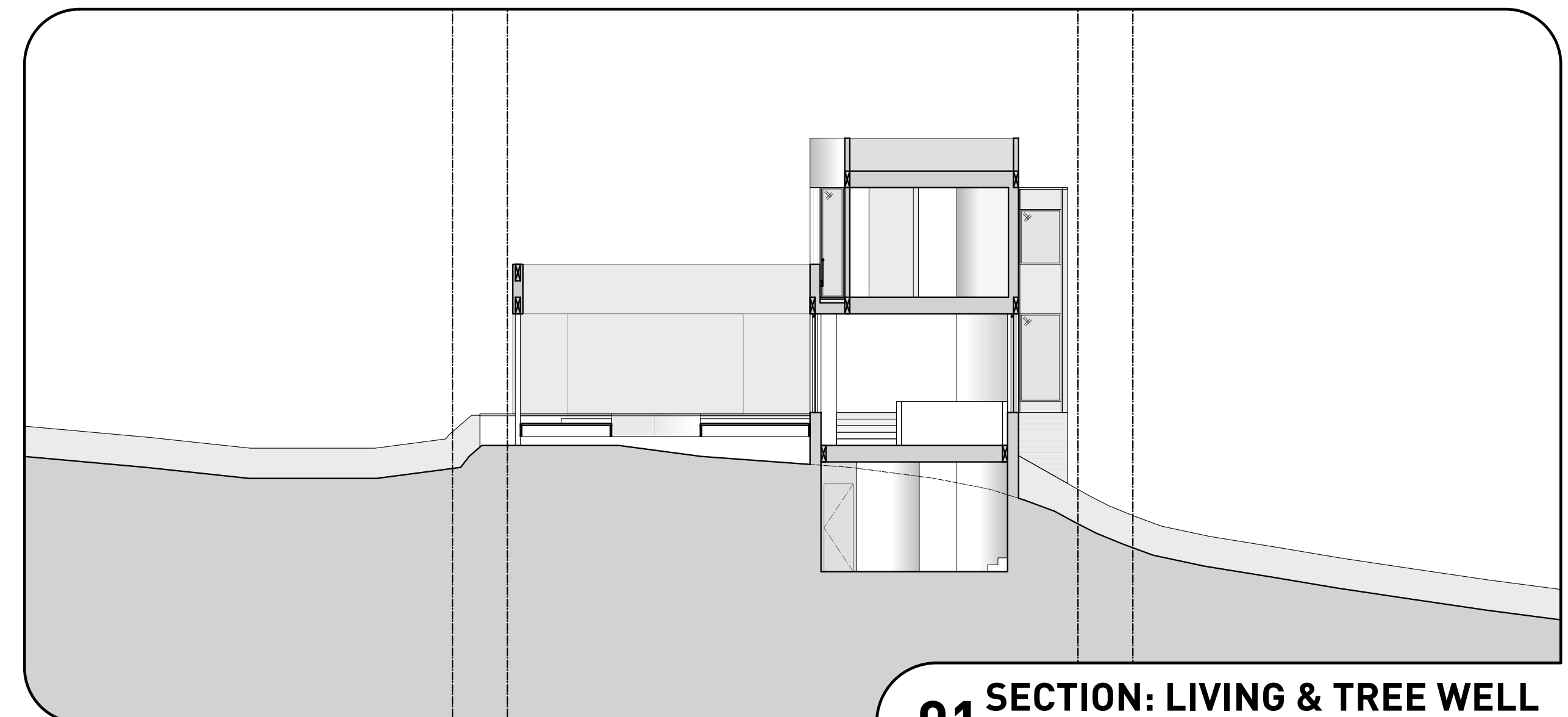
05 SECTION: PRIMARY
3/32" = 1'-0"



02 SECTION: STAIRS AND POOL
3/32" = 1'-0"



04 SECTION: STAIRS
3/32" = 1'-0"



01 SECTION: LIVING & TREE WELL
3/32" = 1'-0"

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM
INFO@NORTHARROWSTUDIO.COM
512.956.0644

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

**1100
S 5TH ST**

1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY
FX
AP
BB

SET ISSUED

PROGRESS SET
2022-04-24

TITLE OF SHEET

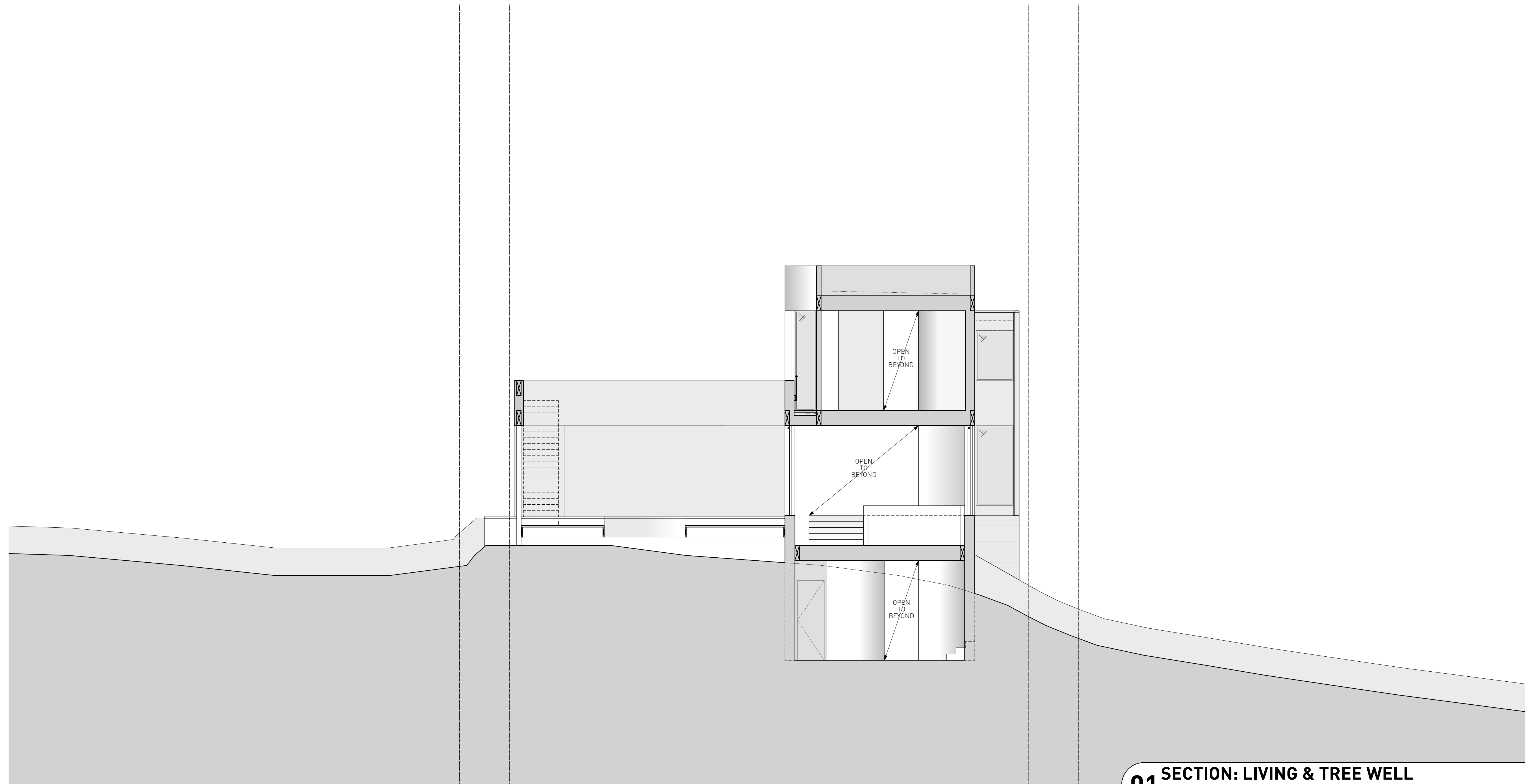
SECTIONS

NUMBER OF SHEET

A4.0

CAUTION

DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



01 SECTION: LIVING & TREE WELL
3/16" = 1'-0"

ELEVATION KEY		
01. PROPERTY LINE	17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
02. SETBACK LINE	18. PTD. STL. POST; SEE STRUCT.	-STAINED BLACK
03. DASHED LINE OF EXT'G. NATURAL GRADE	19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.	32. BLDG. BEYOND
04. DASHED LINE OF STRUCTURE BEYOND	20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.	33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
05. VERTICAL BOARD FORMED CONCRETE	21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES	34. ENTRY LANTERN; SEE RCP & STRUCT.
06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW.; HARDIE TO MATCH WDW. FINISH	22. CONC. POOL COPING	-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271	23. LED COVE FRAMED W/PTD. 2x4 BLOCKING; SEE RCP	-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL	24. INTEGRATED TPO GUTTER; SEE ROOF PLAN	35. LINE OF DRIVEWAY
09. LIGHT FIXTURE; SEE RCP	25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT	36. CONC. FLATWORK
10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING	26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271	37. OUTDOOR KITCHEN
-STAINED BLACK	27. TRELIS - TBD	38. CONC. WALL BEYOND
-W/ STAGGERED JOINTS	28. PRE-FINISHED MTL. FLASHING	39. LINEAR DRAIN - DRAIN TO DAYLIGHT
-SEE DETAIL	29. CONC. DRIVEWAY	40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.
11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN	30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA	
12. DASHED LINE OF DRAINAGE PLANE		
13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL		
14. PRE-FINISHED MTL. COPING		
15. DASHED LINE OF BASEMENT		
16. PTD. P.L.T. STL. LANDSCAPE EDGING		

GENERAL NOTES
01. VERIFY ALL DIMENSIONS W/ OWNER
02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM

INFO@NORTHARROWSTUDIO.COM

512.956.0644

SEAL

FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

1100
S 5TH ST

1100 S 5TH ST

AUSTIN, TX 78704

DRAWN BY

FX
AP
BB

SET ISSUED

PROGRESS SET
2022-04-24

TITLE OF SHEET

SECTIONS

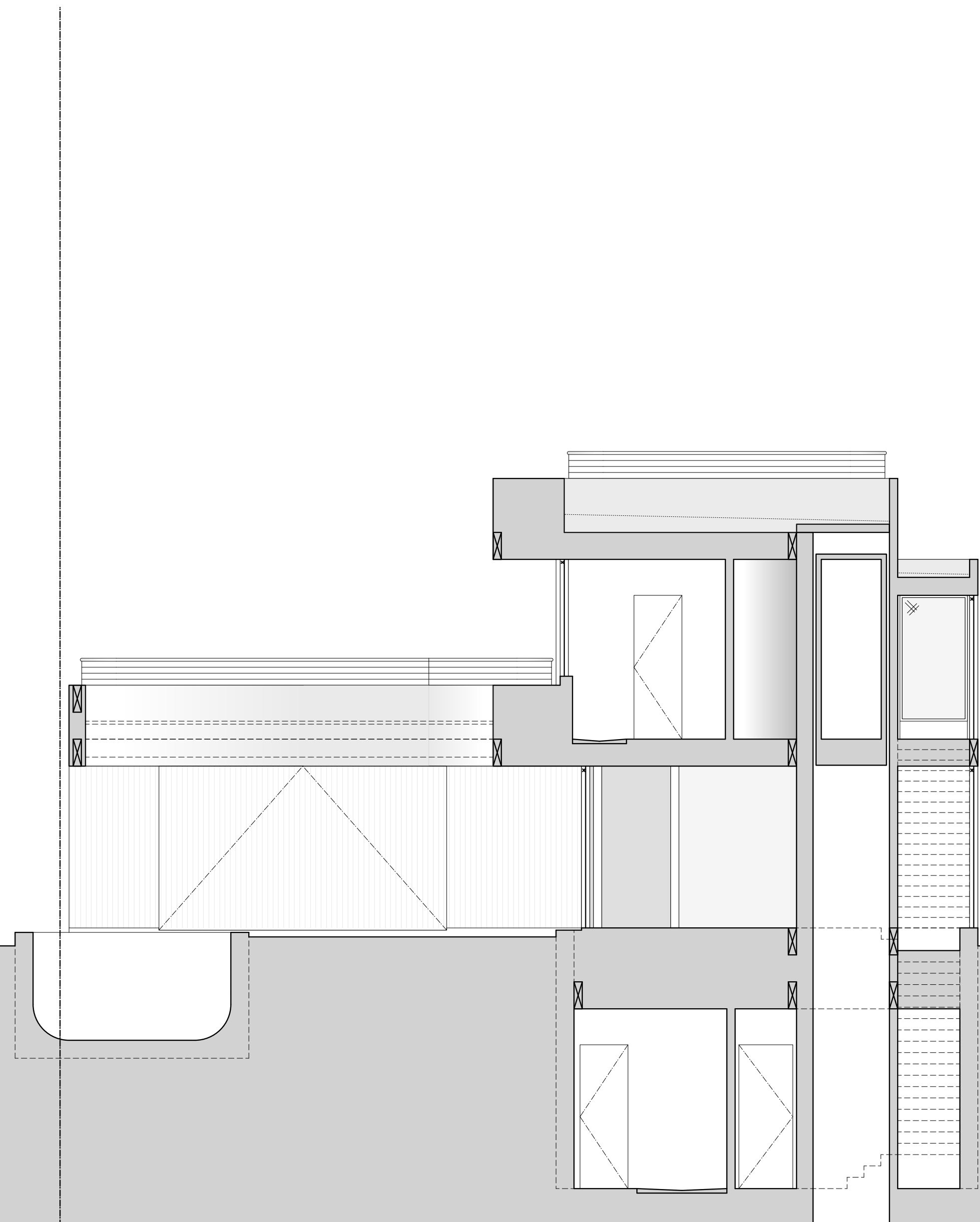
NUMBER OF SHEET

A4.2

CAUTION

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



01 SECTION: STAIRS & POOL
3/16" = 1'-0"

ELEVATION KEY

- 01. PROPERTY LINE
- 02. SETBACK LINE
- 03. DASHED LINE OF EXT'G. NATURAL GRADE
- 04. DASHED LINE OF STRUCTURE BEYOND
- 05. VERTICAL BOARD FORMED CONCRETE
- 06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH
- 07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271
- 08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL
- 09. LIGHT FIXTURE; SEE RCP
- 10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL
- 11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN
- 12. DASHED LINE OF DRAINAGE PLANE
- 13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL
- 14. PRE-FINISHED MTL. COPING
- 15. DASHED LINE OF BASEMENT
- 16. PTD. PLT. STL. LANDSCAPE EDGING

- 17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
- 18. PTD. STL. POST; SEE STRUCT.
- 19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.
- 20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.
- 21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES
- 22. CONC. POOL COPING
- 23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP
- 24. INTEGRATED TPO GUTTER; SEE ROOF PLAN
- 25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
- 26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271
- 27. TRELIS - TBD
- 28. PRE-FINISHED MTL. FLASHING
- 29. CONC. DRIVEWAY
- 30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA

- 31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK
- 32. BLDG. BEYOND
- 33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
- 34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
- 35. LINE OF DRIVEWAY
- 36. CONC. FLATWORK
- 37. OUTDOOR KITCHEN
- 38. CONC. WALL BEYOND
- 39. LINEAR DRAIN - DRAIN TO DAYLIGHT
- 40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.

GENERAL NOTES

- 01. VERIFY ALL DIMENSIONS W/ OWNER
- 02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

NORTH
ARROW
STUDIO

NORTHARROWSTUDIO.COM

INFO@NORTHARROWSTUDIO.COM

512.956.0644

SEAL

FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

1100
S 5TH ST

1100 S 5TH ST

AUSTIN, TX 78704

DRAWN BY

FX
AP
BB

SET ISSUED

PROGRESS SET
2022-04-24

TITLE OF SHEET

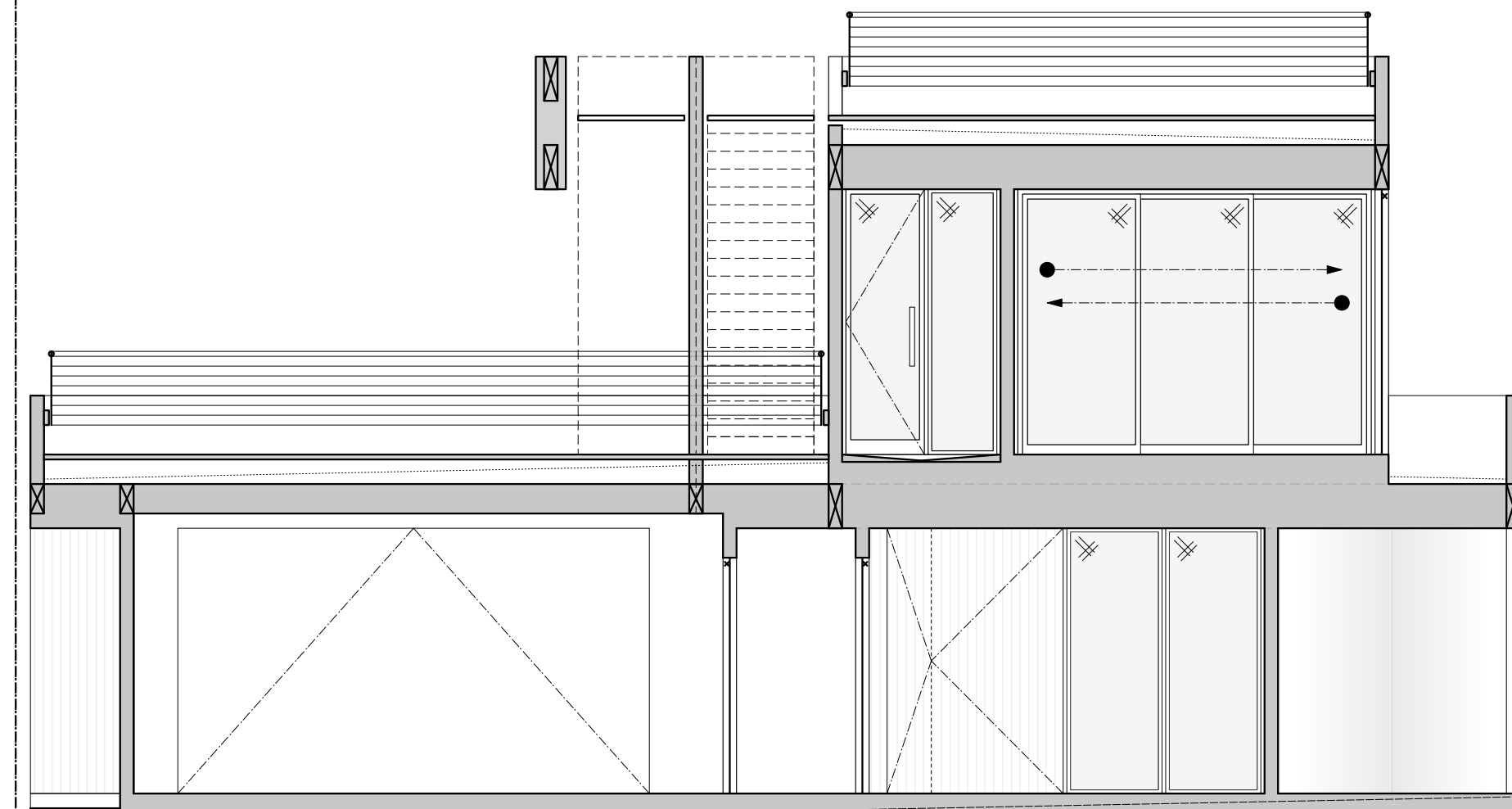
SECTIONS

NUMBER OF SHEET

A4.3

CAUTION

DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



01 SECTION: GARAGE & ROOF DECK
3/16" = 1'-0"

ELEVATION KEY

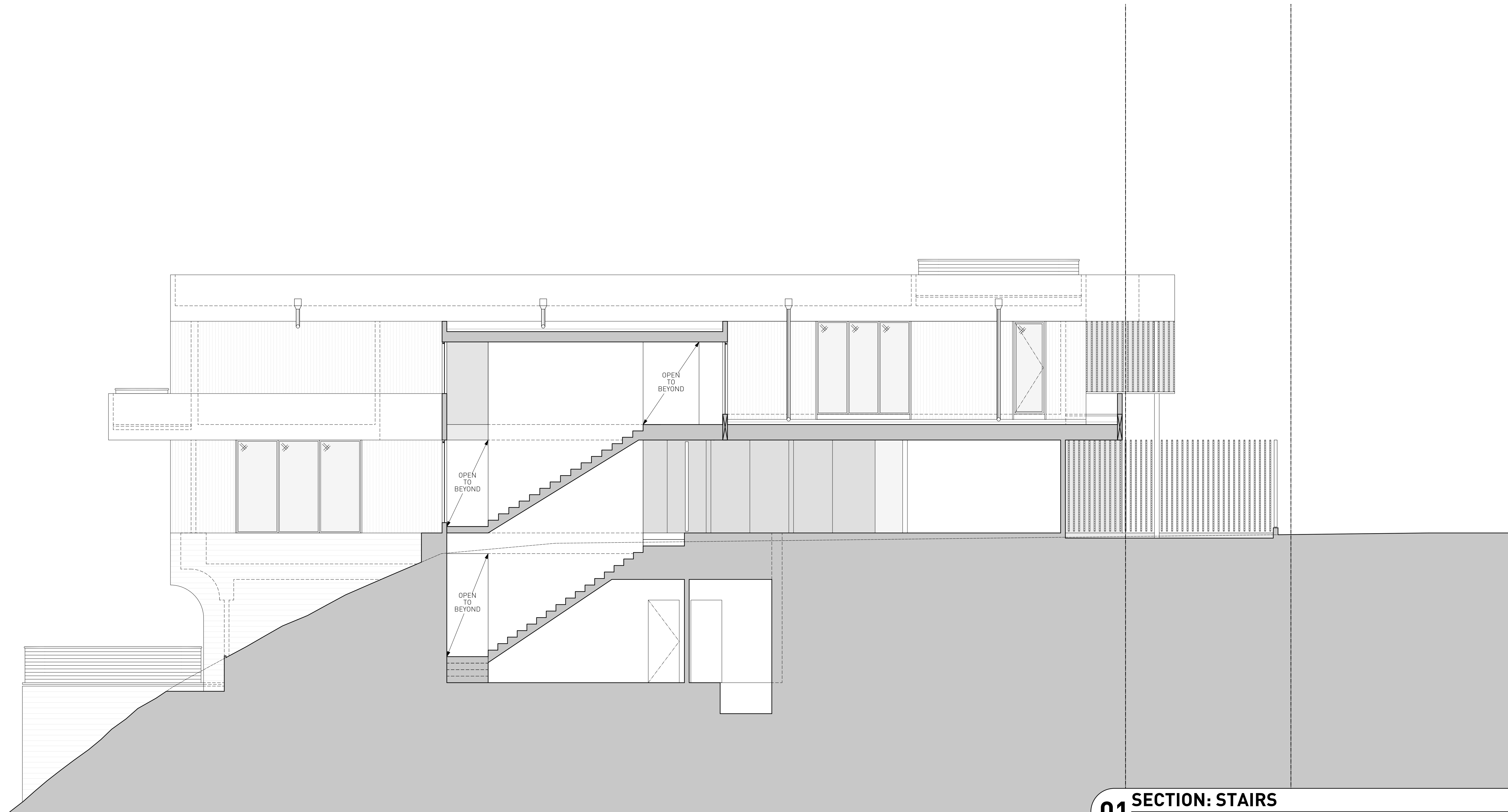
- 01. PROPERTY LINE
- 02. SETBACK LINE
- 03. DASHED LINE OF EXT'G. NATURAL GRADE
- 04. DASHED LINE OF STRUCTURE BEYOND
- 05. VERTICAL BOARD FORMED CONCRETE
- 06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH
- 07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271
- 08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL
- 09. LIGHT FIXTURE; SEE RCP
- 10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL
- 11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN
- 12. DASHED LINE OF DRAINAGE PLANE
- 13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL
- 14. PRE-FINISHED MTL. COPING
- 15. DASHED LINE OF BASEMENT
- 16. PTD. PLT. STL. LANDSCAPE EDGING

- 17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
- 18. PTD. STL. POST; SEE STRUCT.
- 19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.
- 20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.
- 21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES
- 22. CONC. POOL COPING
- 23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP
- 24. INTEGRATED TPO GUTTER; SEE ROOF PLAN
- 25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
- 26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271
- 27. TRELIS - TBD
- 28. PRE-FINISHED MTL. FLASHING
- 29. CONC. DRIVEWAY
- 30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA

- 31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK
- 32. BLDG. BEYOND
- 33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
- 34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
- 35. LINE OF DRIVEWAY
- 36. CONC. FLATWORK
- 37. OUTDOOR KITCHEN
- 38. CONC. WALL BEYOND
- 39. LINEAR DRAIN - DRAIN TO DAYLIGHT
- 40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.

GENERAL NOTES

- 01. VERIFY ALL DIMENSIONS W/ OWNER
- 02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE



01 SECTION: STAIRS
3/16" = 1'-0"

ELEVATION KEY

- 01. PROPERTY LINE
- 02. SETBACK LINE
- 03. DASHED LINE OF EXT'G. NATURAL GRADE
- 04. DASHED LINE OF STRUCTURE BEYOND
- 05. VERTICAL BOARD FORMED CONCRETE
- 06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH
- 07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271
- 08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL
- 09. LIGHT FIXTURE; SEE RCP
- 10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL
- 11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN
- 12. DASHED LINE OF DRAINAGE PLANE
- 13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL
- 14. PRE-FINISHED MTL. COPING
- 15. DASHED LINE OF BASEMENT
- 16. PTD. PLT. STL. LANDSCAPE EDGING

- 17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
- 18. PTD. STL. POST; SEE STRUCT.
- 19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.
- 20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.
- 21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES
- 22. CONC. POOL COPING
- 23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP
- 24. INTEGRATED TPO GUTTER; SEE ROOF PLAN
- 25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
- 26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271
- 27. TRELIS - TBD
- 28. PRE-FINISHED MTL. FLASHING
- 29. CONC. DRIVEWAY
- 30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA

- 31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK
- 32. BLDG. BEYOND
- 33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
- 34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
- 35. LINE OF DRIVEWAY
- 36. CONC. FLATWORK
- 37. OUTDOOR KITCHEN
- 38. CONC. WALL BEYOND
- 39. LINEAR DRAIN - DRAIN TO DAYLIGHT
- 40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.

GENERAL NOTES

- 01. VERIFY ALL DIMENSIONS W/ OWNER
- 02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

SEAL

FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT

**1100
S 5TH ST**

1100 S 5TH ST
AUSTIN, TX 78704

DRAWN BY

FX
AP
BB

SET ISSUED

PROGRESS SET
2022-04-24

TITLE OF SHEET

SECTIONS

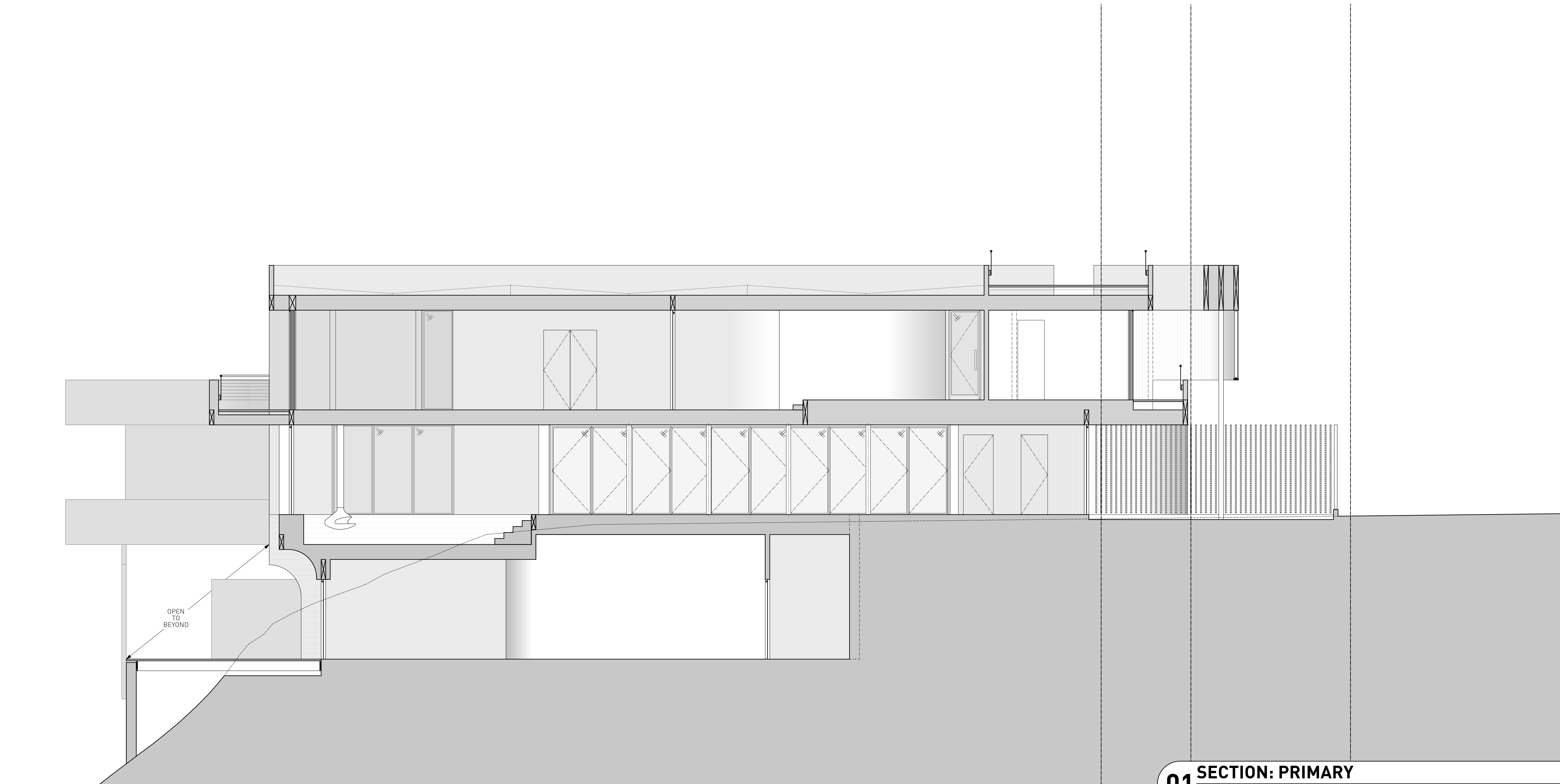
NUMBER OF SHEET

A4.5

CAUTION

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



01 SECTION: PRIMARY
3/16" = 1'-0"

ELEVATION KEY

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> 01. PROPERTY LINE 02. SETBACK LINE 03. DASHED LINE OF EXT'G. NATURAL GRADE 04. DASHED LINE OF STRUCTURE BEYOND 05. VERTICAL BOARD FORMED CONCRETE 06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH 07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271 08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL 09. LIGHT FIXTURE; SEE RCP 10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL 11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN 12. DASHED LINE OF DRAINAGE PLANE 13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL 14. PRE-FINISHED MTL. COPING 15. DASHED LINE OF BASEMENT 16. PTD. PLT. STL. LANDSCAPE EDGING | <ul style="list-style-type: none"> 17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT 18. PTD. STL. POST; SEE STRUCT. 19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH. 20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH. 21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES 22. CONC. POOL COPING 23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP 24. INTEGRATED TPO GUTTER; SEE ROOF PLAN 25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT 26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271 27. TRELIS - TBD 28. PRE-FINISHED MTL. FLASHING 29. CONC. DRIVEWAY 30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA | <ul style="list-style-type: none"> 31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK 32. BLDG. BEYOND 33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT. 34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM 35. LINE OF DRIVEWAY 36. CONC. FLATWORK 37. OUTDOOR KITCHEN 38. CONC. WALL BEYOND 39. LINEAR DRAIN - DRAIN TO DAYLIGHT 40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT. |
|--|---|--|

GENERAL NOTES

- 01. VERIFY ALL DIMENSIONS W/ OWNER
- 02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE

SEAL
FOR INTERIM REVIEW ONLY -
NOT TO BE USED FOR
REGULATORY APPROVAL,
CONSTRUCTION, BIDDING, OR
PERMITTING PURPOSES

PROJECT
**1100
S 5TH ST**
1100 S 5TH ST
AUSTIN, TX 78704

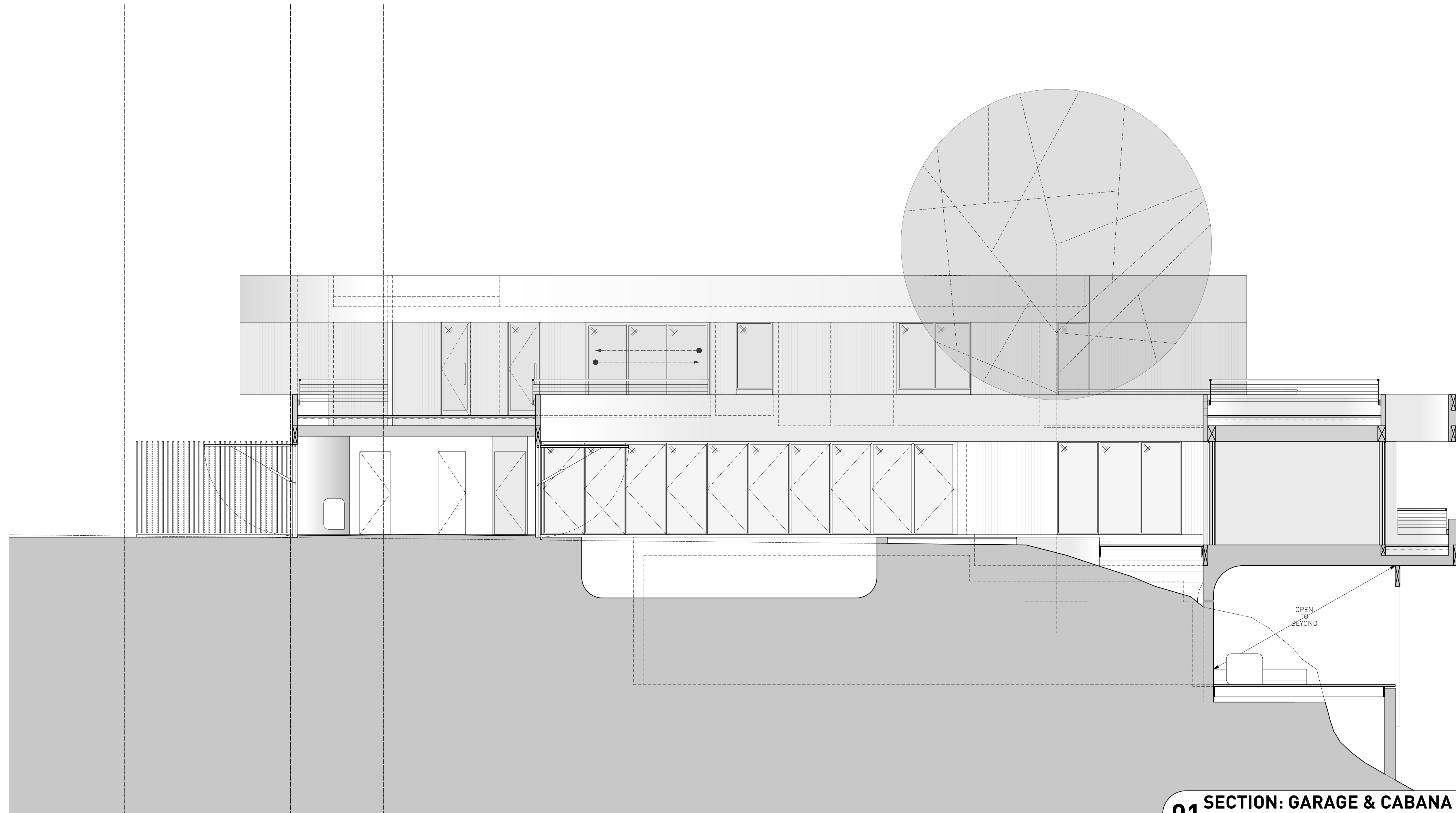
DRAWN BY
FX
AP
BB

SET ISSUED
PROGRESS SET
2022-06-24

TITLE OF SHEET
SECTIONS

NUMBER OF SHEET
A4.6

CAUTION
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE THE
PROPERTY OF THE
ARCHITECT & MAY ONLY BE
USED IN CONJUNCTION
WITH THIS PROJECT



01 SECTION: GARAGE & CABANA
3/16" = 1'-0"

ELEVATION KEY

- | | | |
|--|---|--|
| <p>01. PROPERTY LINE
02. SETBACK LINE
03. DASHED LINE OF EXT'G. NATURAL GRADE
04. DASHED LINE OF STRUCTURE BEYOND
05. VERTICAL BOARD FORMED CONCRETE
06. PTD. SMOOTH HARDIE PANEL ABOVE/BELOW WDW., HARDIE TO MATCH WDW. FINISH
07. 5'-0" P.U.E. & DRAINAGE EASEMENT PER VOL. 1975 PG. 271
08. VERTICAL BOARD FORMED CONCRETE GARDEN WALL
09. LIGHT FIXTURE; SEE RCP
10. VERTICAL T&G STAIN GRADE CLEAR CEDAR WD. SIDING
-STAINED BLACK
-W/ STAGGERED JOINTS
-SEE DETAIL
11. CURB MTD. SKYLIGHT; SEE SCH., RCP, & ROOF PLAN
12. DASHED LINE OF DRAINAGE PLANE
13. CONC. FLATWORKS STEPS W/ CANTILEVERED EDGE DETAIL
14. PRE-FINISHED MTL. COPING
15. DASHED LINE OF BASEMENT
16. PTD. PLT. STL. LANDSCAPE EDGING</p> | <p>17. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
18. PTD. STL. POST; SEE STRUCT.
19. VERTICAL BOARD FORMED CONC. WALL W/ UPPER SHALLOW REFLECTING POOL, WATERFALL, & LOWER CATCH BASIN. LOC. PUMP IN FIELD W/ ARCH.
20. CUSTOM WD. GATE; SEE PLAN, SECT., & SCH.
21. PTD. 3/4" HARDIE PANEL JAMB EXTENSION W/ SMOOTH FINISH, 1/2" PROUD OF ADJ. FINISHES
22. CONC. POOL COPING
23. LED COVE FRAMED W/PTD. 2X4 BLOCKING; SEE RCP
24. INTEGRATED TPO GUTTER; SEE ROOF PLAN
25. PRE-FINISHED MTL. BOX COLLECTOR & PRE-FINISHED ROUND MTL. DOWNSPOUT
26. 25' BUILDING LINE PER PLAT & VOL. 1975 PG. 271
27. TRELIS - TBD
28. PRE-FINISHED MTL. FLASHING
29. CONC. DRIVEWAY
30. PRE-FINISHED MTL. FLASHING OVER XXXXXXX FASCIA</p> | <p>31. 2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; ADD BLOCK'G AS REQ'D.
-STAINED BLACK
32. BLDG. BEYOND
33. CONC. SLAB W/ CANTILEVERED EDGE DETAIL - SEE STRUCT.
34. ENTRY LANTERN; SEE RCP & STRUCT.
-2x6 STN. GRADE CEDAR SCREEN (CLEAR/NO KNOTS) 6" O.C.; STAINED BLACK; ATTACHED TO PTD. STEEL TUBE FRAME
-PTD. STEEL TUBE FRAME AT TOP & BOTTOM
35. LINE OF DRIVEWAY
36. CONC. FLATWORK
37. OUTDOOR KITCHEN
38. CONC. WALL BEYOND
39. LINEAR DRAIN - DRAIN TO DAYLIGHT
40. DASHED LINE OF STRUCT. METAL DECK - SEE STRUCT.</p> |
|--|---|--|

GENERAL NOTES

01. VERIFY ALL DIMENSIONS W/ OWNER
02. ALL EXT. FINISHES TO BE MIN. 6" ABOVE GRADE