CEDARVIEW TERRACE

2900 Cedarview Drive, Austin, Texas 78704

05.13.2022 Permit Set



PROJECT RENDERING

- SITE ADDRESS Δ. 2900 CEDARVIEW DRIVE AUSTIN, TX 78704
- LEGAL DESCRIPTION Β. LOT 28 BLOCK D BARTON HILLS SECTION 2

PROPERTY ID: 302423

- BUILDING CODE C. 1. INTERNATIONAL RESIDENTIAL CODE 2021
- D. PLANNING AND ZONING DATA 1. ZONE: SF-3 2. SQFT OF SITE: <u>10,260 SQFT</u>

PROJECT SUMMARY: Ε.

F.

G.

THE PROJECT CONSISTS OF A TWO STORY SINGLE FAMILY HOME WITH A BASEMENT, COVERED FRONT PORCH, REAR PATIO, A POOL, AND A GARAGE.

FIRST LEVEL CONDITIONED = SECOND LEVEL CONDITIONED =	2,787 SF 203 SF		
BASEMENT CONDITIONED = GARAGE =	1,776 SF 569 SF	1.	
COVERED PATIO, DECK, PORCH, BALCONY =	1,382 SF	_	
TOTAL =	6,617 SF	J.	
CONSTRUCTION TYPE:			
1. STRUCTURAL SLAB ON GRADE		К.	
2. STRUCTURAL WOOD FRAMING			
3. STEEL FRAMING			
EXTERIOR BUILDING MATERIALS:		L.	

- EXTERIOR BUILDING MATERIALS: 1. EXTERIOR MATERIAL - MASONRY, STUCCO
- 2. ROOFING MATERIAL TPO, STANDING SEAM METAL ROOFING

BUILDING COVER CALCULATIONS:

1. TOTAL BUILDING COVER (NEW) 3,943 SF (3,943 / 10,260) = 38.4% < 40% OF SITE AREA

IMPERVIOUS COVER CALCULATIONS

(NEW) 4,570 SF (4,570 / 10,260) = 44.5% < 45% OF SITE AREA

F.A.R. CALCULATION

(3,359 GROSS FLOOR AREA) / (10,260 LOT SIZE)) X 100 = 32.7 < 40 F.A.R.

BUILDING HEIGHT ALLOWABLE = 32'-0" PROPOSED = 27'-9 1/2"

SETBACK REOUIREMENTS

OF I DAOK WEYON	
FRONT:	25'-0"
REAR:	10'-0"
SIDE:	5'-0"
OIDE:	0.0

HYDRANT FIRE FLOW CALCULATION Μ

FIRE FLOW EXCEEDS REQUIREMENT - NO SPRINKLER SYSTEM IS REQ'D.

FIRST LEVEL3FIRST LEVEL EXT COVERED5SECOND LEVEL1SECOND LEVEL EXT COVERED5	BASEMENT LEVEL	1,
FIRST LEVELEXT COVEREDSSECOND LEVEL1SECOND LEVEL EXT COVERED5	BASEMENT LEVEL EXT COVERED	4
SECOND LEVEL 1 SECOND LEVEL EXT COVERED 5	FIRST LEVEL	3
SECOND LEVEL EXT COVERED 5	FIRST LEVEL EXT COVERED	5
	SECOND LEVEL	1
TOTAL 6	SECOND LEVEL EXT COVERED	5
	TOTAL	6

1,537 SQFT 468 SQFT 3,068 SQFT 585 SQFT 165 SQFT 522 SQFT 6,345 SQFT

N WILDLAND INTERFACE CODE REQUIREMENTS

- EMBER PROTECTION TO BE PROVIDED ON ALL VENTING AND OPENINGS (EXCLUDING DRYER VENTS AND PLUMBING VENT STACKS) IN ACCORDANCE WITH IWUIC 504.10 (AS AMENDED)
- GUTTERS & DOWNSPOUTS TO BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND PROVIDE A 2. ACCORDANCE WITH IWUIC 504.4
- IWUIC 504.7(AS AMENDED)
- 504.7(AS AMENDED)
- 5. SPARK ARRESTORS TO BE PROVIDED IN ACCORDANCE WITH IWUIC 605.

Sheet Number	Sheet Name	05.13.2022 - Issue for Permit
A0.0	Cover Page	X
A0.1	General Information	X
A0.2	Visitability Plan	X
A0.3	Area Calculation - Basement	X
A0.4	Area Calculation - Level 1	X
A0.5	Area Calculation - Level 2	Х
A0.6	Basement Exemption Exhibit	X
A0.7	Basement Exemption Exhibit	X
A0.8	Tree Protection	Х
A0.9	Driveway Details	X
A1.0	Site Plan	X
A2.0	Symbol Plan - Basement Level	X
A2.1	Symbol Plan - Level 1	Х
A2.2	Symbol Plan - Level 2	X
A2.3	Dimension Plan - Basement Level	X
A2.4	Dimension Plan - Level 1	X
A2.5	Dimension Plan - Level 2	X
A2.6	Roof Plan	Х
A3.0	Building Elevations	X
A3.1	Building Elevations	X
A3.2	Building Elevations	Х
A3.3	Building Elevations	Х
A9.0	Window Schedules	X
A9.1	Door Schedules	X

COXIST

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No.	Description	Date
1	Permit Set	05.13.2022

NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN

3. APPENDAGES AND STRUCTURES (INCLUDING DECKS & BALCONIES) TO BE CONSTRUCTED IN ACCORDANCE WITH

4. FENCE STRUCTURES LOCATED WITHIN 5' OF THE HOME TO BE CONSTRUCTED IN ACCORDANCE WITH IWUIC





Project number

05.13.2022

22-080

Cedarview Residence

2900 Cedarview Drive Austin, TX 78704

Cover Page



CONSTRUCTION DOCUMENTS

- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLACEMENT OF THE CONSTRUCTION ON THE SITE. 2.
- ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS. 3.
- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY CORRECTION.
- WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS OF VARIOUS TRADES, ARCHITECTURAL DRAWINGS SHALL 5. GENERALLY BE ASSUMED TO GOVERN. CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES INCLUDING OSHA STANDARDS, AND SHALL BE OF THE BEST 7. PRACTICE OF EACH TRADE.
- CONSTRUCTION FOR WORK INDICATED ON DRAWINGS AS (NIC) IS NOT IN CONTRACT. SUBSEQUENT DRAWINGS AND SPECIFICATIONS WILL BE SUBMITTED FOR CONSTRUCTION UNDER SEPARATE CONTRACT. CONTRACTOR SHALL COORDINATE ALL TRADES OF WORK DIRECTLY OR INDIRECTLY INVOLVED WITH SUBSEQUENT WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR 9. BREAKDOWN AND GALVANIC ACTION.
- CONTRACTOR SHALL COORDINATE ALL SLAB OPENINGS REQUIRED BY MECHANICAL, ELECTRICAL, AND PLUMBING 10. DRAWINGS BEFORE FRAMING WALLS AND FLOORS.
- COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, PLUMBING AND INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING.
- REFER TO CERTIFIED MECHANICAL AND ELECTRICAL SUB-CONTRACTOR'S DRAWINGS AND MANUFACTURERS'S TEMPLATE DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, BOLT SETTING TEMPLATES, ISOLATIONS, SPRING ISOLATION, ETC. NOT SHOWN ON DRAWINGS.
- CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION. 13.
- LARGE SCALE PLANS, ELEVATIONS AND DETAILS SHALL GOVERN OVER SMALL DETAILS PLANS. 14.
- MANUFACTURERS AND PRODUCTS INDICATED ARE THE BASIS OF DESIGN. ALL PROPOSED ALTERNATES MUST BE APPROVED BY THE ARCHITECT PRIOR TO FABRICATION AND INSTALLATION.
- PLAN DIMENSIONS ARE TO FACE OF STUD, CENTER LINE, OR MASONRY UNLESS NOTED OTHERWISE.
- DO NOT SCALE THE DRAWINGS THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL 17. FIELD MEASUREMENTS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

GENERAL CONDITIONS

- SUPERVISION: THE CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOBSITE WHENEVER ANY WORK UNDER THIS CONTRACT IS BEING PERFORMED IN ORDER TO PROVIDE CONSTANT SUPERVISION.
- **STORAGE:** THE CONTRACTOR SHALL PROVIDE THE NECESSARY STORAGE SPACE FOR THE PROTECTION OF DOCUMENTS, TOOLS AND MATERIALS AT THE SITE.
- FIELD REQUESTS: A 48-HOUR MINIMUM ADVANCE NOTICE PERIOD IS REQUIRED FOR FIELD REQUESTS.
- **SCHEDULE:** THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE APPROVAL OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK FOR ALL TRADES, THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DELAYS OF CHANGE OF SCHEDULE.
- EXTRA COSTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECTS OF ANY EXTRA COSTS ARISING FROM THE EXECUTION OF THIS CONTRACT AND SHALL RECEIVE THE OWNERS'S APPROVAL OF ANY EXTRA COST PRIOR TO THE WORK INVOLVED.
- **SUBSTITUTION:** SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE THE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- **N.I.C ITEMS COORDINATION:** THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE CONTRACTORS OF THE NOT-IN-CONTRACT ITEMS, PROVIDE AND COORDINATE ALL ROUGH-INS FOR THE OWNER-FURNISHED, OWNER-INSTALLED EQUIPMENT AS PER SUPPLIER; S SPECIFICATIONS AND REQUIREMENTS.
- **BACKING AND SUPPORT**: THE CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY BACKING AND SUPPORT FOR CASEWORK AND ALL OTHER ITEMS ESSENTIAL TO THE OPERATION OF FACILITY, INCLUDING WALL MOUNTED FIXTURES AND N.I.C EQUIPMENT. ALL SHORING, BRACING, AND GUYS TO BE IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.
- CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE DAY, AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM THE SITE. LEAVE ALL SURFACES WITHIN THE CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER. UPON COMPLETION OF WORK, ALL WORK AREAS SHALL BE LEFT BROOM CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

CODE COMPLIANCE

- **VIOLATION:** THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT 1. CODE, CITY ORDINANCES OR STATE LAWS. IF THE CONTRACTOR PERFOR ORDINANCES, AND RULES AND REGULATIONS, WITHOUT GIVING PRIOR V ASSUME FILL RESPONSIBILITY THEREFORE, AND WILL BEAR ALL COST A
- PAINT AND STAIN: ALL PAINT, STAIN AND OTHER MATERIALS MUST CO POLLUTION CONTROL MANDATES.
- **PERMITS:** THE OWNER SHALL PAY FOR AND THE CONTRACTOR SHALL A SHALL ACQUIRE ALL OTHER PERMITS, COMPLIANCE REQUIREMENTS AND EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AN
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A P 4. STREET.

SAFETY AND GUARANTEES

- **SAFETY:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRE OR PROCEDURES TO PERFORM HIS/HER WORK.
- **PROPERTY PROTECTION:** THE CONTRACTOR SHALL PROVIDE SUFFICIEN FINISHES AND OR MEW CONSTRUCTION AND MATERIALS FROM DAMAGE PROJECT.
- **INSURANCE:** THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES FOR F PROPERTY DAMAGE DURING THE COURSE OF THE CONTRACT.
- **<u>GUARANTEES:</u>** THE CONTRACTOR SHALL GUARANTEE THAT THE PROJE MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANC CONSTRUCTION OR OUALITY OR DEFICIENT IN ANY REQUIREMENTS OF 1 CONSEQUENCE OF THE OWNER'S OR ARCHITECTS FAILURE TO POINT OU CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED ACCEPTANCE SHALL BE REPLACED BY THE CONTRACTOR. NO PAYMENT AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

DEMOLITION NOTES

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND INFOR AFFECT DEMOLITION AS SHOWN ON THE DRAWINGS.
- THESE DRAWINGS DO NOT SHOW IN MINUTE DETAIL ALL PORTIONS OF CONTRACTOR SHALL EXAMINE ALL OF THE EXISTING WORK SO AS TO DE WORK REQUIRED TO MAKE THE COMPLETE WORK CONFORM TO THE CON
- THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CO ANY CONFLICTS TO THE ARCHITECT BEFORE DEMOLITION WORK BEGINS
- THE CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION
- DEMOLITION WORK PERFORMED THAT IS NOT REQUIRED FOR NEW CONS 5. CHARGE TO THE OWNER.
- ALL DEMOLITION SHALL BE DONE IN SUCH A MANNER THAT IT PROTECT BUILDING TO REMAIN, AND ANY VEGETATION STIPULATED TO REMAIN. AI THE CONTRACTOR AT NO EXTRA CHARGE TO THE OWNER.
- THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
- MAINTAIN AND PROTECT EXISTING UTILITY SERVICES TO REMAIN OPERA 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND F RESTORATION OF SERVICES.
- NOTIFY UTILITY COMPANIES IF AND WHEN NECESSARY BEFORE PROCEE 9.

CONSTRUCTION NOTES

- ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE ARE
- DEADBOLTS ARE TO HAVE HARDENED INSERTS.
- SMOKE DETECTORS SHALL BE PROVIDED IN EACH BEDROOM AND HALLV EACH FLOOR.
- STRAIGHT DEADBOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EM EXPANDING LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4"
- EXTERIOR DOORS, WINDOWS AND THEIR HARDWARE SHALL CONFORM T LATEST EDITION OF THE I.B.C.
- CAULK ALL WINDOW AND DOOR FRAMES BETWEEN WALL SILL PLATES A ENVELOPE.
- ALL OPENINGS (DOORS AND WINDOWS) SHALL BE PROPERLY WEATHER-WITH APPROPRIATE INFILTRATION STANDARDS.
- ALL GLAZING WITHIN 40" OF A REQUIRED LOCK MUST BE TEMPERED.
- NEW DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW TH
- 10. THE STRUCTURE SHALL COMPLY WITH THE SECURITY REQUIREMENTS (

FINISH SPECIFICATIONS

- 1. ALL GYPSUM BOARD WALL AND CEILING FINISH TO BE SMOOTH LEVEL 4
- ALL STUCCO TO BE 7/8" 3-COAT SYSTEM W/ INTEGRAL COLOR SMOOTH
- ALL ROOF BALLAST TO BE 1" RIVER ROCK COLOR TBD

ENERGY INSULATION

- INSULATE ALL EXTERIOR CEILING/ROOF CONDITIONS WITH RIGID INSUL 1. R-19 RATING.
- BUILDING INSULATION SHALL BE; R-11, 3 1/2" THICK; R-19, 5 1/2" THICK, K WITH FLANGED BLACK KRAFT PAPER VAPOR BARRIER WITH A PERMANEI
- INSULATE ALL BATHROOM PERIMETER PARTITIONS WITH FIBERGLASS B

	MEGNANICAL NUTES
PERMIT THE VIOLATION OF ANY OTHER APPLICABLE RMS ANY WORK CONTRARY TO APPLICABLE LAWS,	1. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE CITY OF AUSTIN BUILDING AND MECHANICAL CODES.
WRITTEN NOTICE TO THE ARCHITECT, S/HE SHALL ATTRIBUTED HERETO.	2. THE CONTRACTOR SHALL COORDINATE ALL WORK RELATING TO THE COMPLETE FUNCTIONAL AND BALANCED INSTALLATION OF THE NEW MECHANICAL SYSTEM.
OMPLY WITH LOCAL, STATE, AND FEDERAL AIR	A. VERIFY LOCATIONS OF ALL THERMOSTATS, CONTROLS, REGISTERS, GRILLES, DUCTS, AND CONDENSER WITH THE ARCHITECT PRIOR TO JOB LAYOUT.
ACQUIRE THE BUILDING PERMIT, THE CONTRACTOR ID INSPECTIONS NECESSARY FOR THE PROPER ND GOVERNING REGULATIONS.	 B. PROVIDE OPENINGS AND SUPPORTS AS REQUIRED PER STANDARD DETAILS FOR HEATING, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPES, ECT. ALL SUSPENDED MECHANICAL EQUIPMENT TO BE SWAY OR LATERALLY BRACED. C. ALL MATERIAL, EQUIPMENT, AND WORKMANSHIP SHALL BE GUARANTEED IN WRITING FOR ONE YEAR.
POSITION AS TO BE PLAINLY VISIBLE FROM THE	3. ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT OR
	AUTOMATIC DAMPERS TO PREVENT AIR LEAKAGE.
ED SAFETY PRECAUTIONS AND METHODS, TECHNIQUES	ELECTRICAL NOTES
ENT MEANS FOR PROTECTING EXISTING EXPOSED BY WEATHER OR VANDALS FOR THE COURSE OF THE	1. THE WORK UNDER THIS SECTION INCLUDES ALL LABOR, MATERIALS AND APPLIANCES REQUIRED TO FURNISH AND INSTALL THE ELECTRICAL WORK SHOWN ON THE DRAWINGS PROVIDED NY THE ARCHITECT AND HEREIN SPECIFIED.
E TO PROTECT HIMSELF AND HOLD THE OWNER AND PERSONAL OR BODILY INJURY, OR DEATH, OR	2. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE IBC, CBC, CMC, CPC, CEC, NATIONAL BOARD OF FIRE UNDERWRITERS, AND WITH ANY PREVAILING RILES AND REGULATIONS PERTAINING TO ADEQUATE PROTECTION AND GUARDING OF ANY MOVING PARTS OR OTHERWISE HAZARDOUS LOCATIONS. MATERIALS SHALL COMPLY WITH UNDERWRITE';S LABORATORIES REQUIREMENTS.
ECT WILL BE FREE OF DEFECT OF WORKMANSHIP AND	3. PLANS FOR TEMPORARY AND PERMANENT ELECTRICAL SERVICE TO BE COORDINATED WITH D.W.P REQUIREMENTS.
CE BY THE OWNER. NOW WORK DEFECTIVE IN THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN JR DEFECTS OR DEFICIENCIES DURING	4. VERIFY THE LOCATION OF ALL OUTLETS, SWITCHES, PANEL BOXES, LIGHTING FIXTURES, AND ANY OTHER VISIBLE CONTROLS OF ELECTRICAL EQUIPMENT WITH THE ARCHITECT PRIOR TO INSTALLATION.
D WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF I, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED	5. CHANGES IN THE LOCATION OF OUTLETS, SWITCHES, LIGHTING AND OTHER ELECTRICAL FIXTURES, WHEN ORDERED PRIOR TO INSTALLATION, SHALL BE MADE WITHOUT EXTRA COST PROVIDED NO EXTRA MATERIAL IS REQUIRED.
	6. THE CONTRACTOR TO PROVIDE NEW SUB-PANELS, BREAKERS, CIRCUITS, CONDUITS, ETC. AS NECESSARY FOR ALL NEW ELECTRICAL LOADS. CONTRACTOR TO COORDINATE FOR ALL REQUIRED ELECTRICAL CONNECTIONS.
	7. THE CONTRACTOR TO PROVIDE ALL LIGHT FIXTURE WIRING AND INSTALLATION.
RM THE ARCHITECT OF ANY CONDITIONS THAT MAY	8. SET ALL OUTLETS 15" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
THE DEMOLITION WORK TO BE DONE. THE	9. ALL RECEPTACLES IN THE KITCHEN AND BATHROOMS TO BE INSTALLED ABOVE COUNTERTOPS UNLESS OTHERWISE NOTED.
ETERMINE THE FULL EXTENT OF THE DEMOLITION NSTRUCTION DOCUMENTS.	10. WALL SWITCHES TO BE 42" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
CONSTRUCTION AS SHOWN ON THE DRAWINGS REPORT S.	11. PROVIDE SAMPLES OF SWITCH PLATES AND CONVENIENCE RECEPTACLES AND COVER PLATES FOR ARCHITECTS APPROVAL BEFORE ORDERING.
I WORK WITH NEW CONSTRUCTION.	12. CAULK ALL ELECTRICAL PENETRATIONS IN THE BUILDING ENVELOPE.
STRUCTION SHALL BE REPLACED AT NO EXTRA	13. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER-PROOF AND G.F.C.I ON EXTERIOR RECEPTACLES.
IS ADJOINING PROPERTY, ANY EXISTING PORTIONS OF	 ALL RECEPTACLES WITHIN 6' OF A SINK TO BE G.F.C.I PROTECTED. A DEDICATED 20 AMP CIRCUIT SHALL SERVE BATHROOM RECEPTACLES PER CEC ARTICLE 210-11(C)3.
ANY DAMAGE TO OTHER AREAS SHALL BE REPAIRED BY	16. A MAXIMUM OF 50% OF ALL LIGHTING WATTAGE IN KITCHEN MAY BE HIGH EFFICIENCY LIGHTING.
ED BY THESE DRAWINGS BUT SHALL INCLUDE ANY AND	17. ALL LIGHTING FIXTURES IN BATHROOMS AND POWDER ROOMS SHALL BE HIGH EFFICIENCY UNLESS CONTROLLED BY MOTION SENSOR.
ATIONAL DURING DEMOLITION AND CONSTRUCTION, PROVISION OF TEMPORARY SERVICES AND	18. ALL EXTERIOR LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY UNLESS CONTROLLED BY MOTION SENSOR.
FDING WITH WORK.	19. TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SERVING THE KITCHEN COUNTER RECEPTACLES SHALL HAVE NO OTHER OUTLETS PER CEC ARTICLE 210-12(B)
	20. COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE
E TO HAVE NON-REMOVABLE HINGE PINS.	21. ALL BEDROOM RECEPTACLES SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION TO THE ENTIRE BRANCH CIRCUIT PER CEC ARTICLE 210-12(B).
WAY AND A MINIMUM OF ONE SHALL BE PROVIDED ON	PLUMBING NOTES
	1. THE WORK OF THIS SECTION INCLUDES THE FOLLOWING PRINCIPAL ITEMS:
MBEDMENT OF NOT LESS THAN 5/8". A HOOK SHAPE OR	A. FURNISHING AND CONNECTION OF PLUMBING FIXTURES. B. HOT AND COLD WATER SYSTEMS
TO ALL APPLICABLE SECURITY PROVISIONS IN THE	C. SANITARY WASTE AND VENT SYSTEM D. ALL NECESSARY PROVISIONS FOR THE ATTACHING OR CONNECTION TO RELATED WORK PERFORMED BY OTHERS SO THAT THE ENTIRE SYSTEMS OR PORTION OF THE SYSTEM WILL BE PROPERLY
AND FLOORS AND ALL OPENINGS IN THE BUILDING	INTERCONNECTED.
-STRIPPED, CERTIFIED AND LABELED IN ACCORDANCE	2. WORK SHALL COMPLY WITH ALL APPLICABLE ORDINANCES AND CODES.
	3. MATERIALS WHEN NOT OTHERWISE SPECIFIED SHALL CONFORM TO THE APPLICABLE ASTM, ASME, AGA, AND ASA STANDARDS.
HE THRESHOLD.	4. ALL WATER CLOSETS SHALL BE LOCATED IN A 30" WIDE SPACE PER IBC SECTION 2904
OF "APPENDIX CHAPTER 10 SECURITY" OF HBMC	5. ALL SITE DRAINAGE TO BE TERMINATED AT PUBLIC RIGHT OF WAY VIA NON-EROSIVE DEVICE PER HBMC
	 WATER HEATER SHALL BE STRAPPED AS PER UPC SECTION 210.5 CONTROL VALVES FOR ALL SHOWERS OR TUB-SHOWERS SHALL BE PRESSURE
+ FINISH.	BALANCED IR THERMOSTATIC MIXING VALVE TYPE PER UPC 420.0
H TROWELED FINISH	 ALL NEW PLUMBING FIXTURES SHALL BE CERTIFIED LOW FLOW FIXTURES. THE CONTRACTOR SHALL VERIFY THAT COPPER WATER SUPPLY LINES ARE ADEQUATE TO SUPPLY LINES ARE
	ADEQUATE TO SUPPLY ACCEPTABLE PRESSURE AND VOLUME. THE CONTRACTOR SHALL CONNECT WASTE LINES TO SEWER AND PROVIDE CLEANOUTS AT CONNECTIONS OR TURNS AS REQUIRED.
	10. THE CONTRACTOR SHALL VERIFY BRANDS AND MODELS OF FIXTURES AND TRIMMINGS PRIOR TO ORDERING AND VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLING.
ATION OF SUFFICIENT THICKNESS TO ACHIEVE AN	11. THE CONTRACTOR SHALL VERIFY LOCATIONS OF WATER HEATER AND ALL REQUIRED VENTING WITH ARCHITECT PRIOR TO INSTALLATION.
KRAFT FACED FIBERGLASS ROLLS AND BATTS FACED ENT RATING OF 1.0.	12. ALL STEAM AND STEAM CONDENSATE PIPING AND ALL CONTINUOUS CIRCULATION DOMESTIC OR HOT WATER PIPING SHALL BE INSULATED.
BATT.	13. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

MECHANICAL NOTES

	SYMBOLS LEGEND	
FULL ACCORDANCE WITH THE CITY OF AUSTIN BUILDING AND MECHANICAL CODES. LL WORK RELATING TO THE COMPLETE FUNCTIONAL AND BALANCED L SYSTEM.	1 A101 SIM	SECTION
ERMOSTATS, CONTROLS, REGISTERS, GRILLES, DUCTS, AND CONDENSER WITH THE DUT. DRTS AS REQUIRED PER STANDARD DETAILS FOR HEATING, MECHANICAL PES, ECT. ALL SUSPENDED MECHANICAL EQUIPMENT TO BE SWAY OR LATERALLY ID WORKMANSHIP SHALL BE GUARANTEED IN WRITING FOR ONE YEAR. M THE BUILDING TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT OR	1 A101 SIM	WALL SECTION
EAKAGE.	2 A101	BUILDING ELEVA
IES ALL LABOR, MATERIALS AND APPLIANCES REQUIRED TO FURNISH AND INSTALL DRAWINGS PROVIDED NY THE ARCHITECT AND HEREIN SPECIFIED.	1	
FULL ACCORDANCE WITH THE IBC, CBC, CMC, CPC, CEC, NATIONAL BOARD OF FIRE ING RILES AND REGULATIONS PERTAINING TO ADEQUATE PROTECTION AND HERWISE HAZARDOUS LOCATIONS. MATERIALS SHALL COMPLY WITH MENTS.	1 A1.1 1	INTERIOR ELEVAT
T ELECTRICAL SERVICE TO BE COORDINATED WITH D.W.P REQUIREMENTS.		
SWITCHES, PANEL BOXES, LIGHTING FIXTURES, AND ANY OTHER VISIBLE WITH THE ARCHITECT PRIOR TO INSTALLATION.	Room name	ROOM NUMBER, N
, SWITCHES, LIGHTING AND OTHER ELECTRICAL FIXTURES, WHEN ORDERED PRIOR OUT EXTRA COST PROVIDED NO EXTRA MATERIAL IS REQUIRED.		SQ. FOOTAGE
-PANELS, BREAKERS, CIRCUITS, CONDUITS, ETC. AS NECESSARY FOR ALL NEW ORDINATE FOR ALL REQUIRED ELECTRICAL CONNECTIONS.	ABBREVIATION LE	GEND
T FIXTURE WIRING AND INSTALLATION.	ADJ ADJA(YENT
OR UNLESS NOTED OTHERWISE.	AFF ABOVE	FINISH FLOOR
BATHROOMS TO BE INSTALLED ABOVE COUNTERTOPS UNLESS OTHERWISE NOTED.	BD BOARI	
HFLOOR UNLESS OTHERWISE NOTED.	B.O. BOTTO BTM BOTTO	M
ND CONVENIENCE RECEPTACLES AND COVER PLATES FOR ARCHITECTS APPROVAL	CLG CEILIN Ø DIAME	TER
IN THE BUILDING ENVELOPE.		I FLOOR
AND EXPOSED TO WEATHER-PROOF AND G.F.C.I ON EXTERIOR RECEPTACLES.	GT GROU	NIZED Γ ΙΜ WALL BOARD

GWB

GYP

MTL

PNI

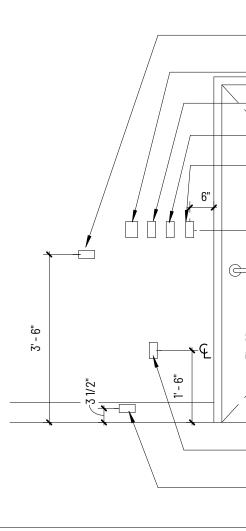
SIM

T.O.

TYP

WD

SHTHG



TYPICAL MOUNTING HEIGHTS

		ENLARGED PLAN
N		WALL TYPE
N	1	EQUIPMENT TYPE
	XXXX	WINDOW TYPE
		DOOR NUMBER
VATION	$\underline{ 1}$	REVISION NUMBER
	€ <u>5'-0"</u> T.O.P.	SPOT ELEVATION
	0	COLUMN GRID
VATION	SD/CM	SMOKE / CARBON MONOXIDE DETECTOR
	нв	FREEZER-FREE HOSE BIBB
		WATER LINE
R, NAME AND	FD	FLOOR DRAIN
		DROP / STEP

COXIS1

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STURE BARRIER

GYPSUM WALLBOARD

GYPSUM JOINT

METAL

PANEL

SHEATHING

SIMILAR

TOP OF

TYPICAL

WOOD

No.	Description	Date
	Permit Set	05.13.2022

Seal / Signature

TELE. OR ELEC OUTLET

DIMMER

PAN SWITCH

THERMOSTAT

LIGHT SWITCH

TELE/DATA OUTLET

ELEC. OUTLET



05.13.2022

Project number

22-080

Cedarview Residence

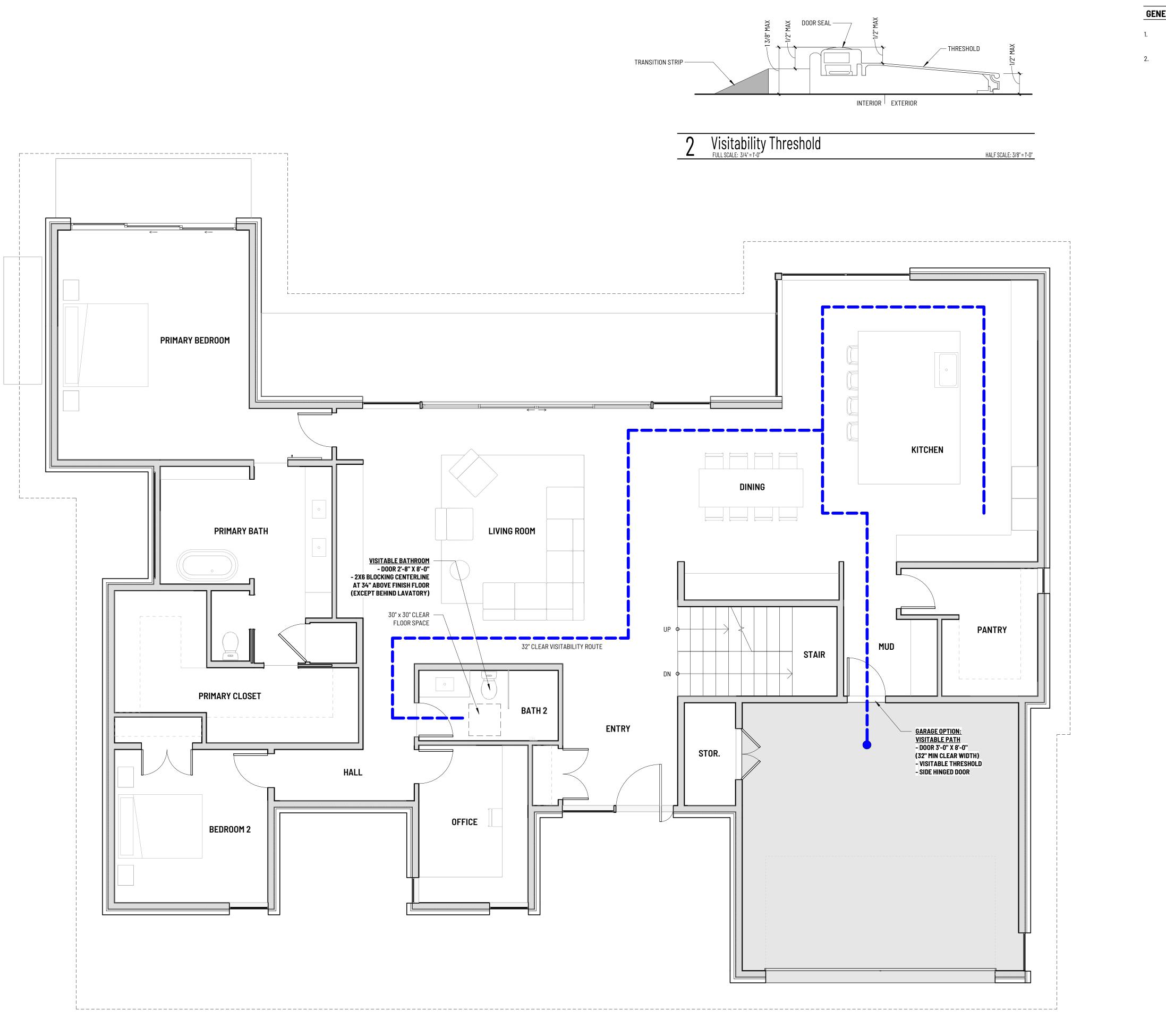
2900 Cedarview Drive Austin, TX 78704

General Information



Scale

As indicated



Level 1 - Visitability Plan

GENERAL NOTES:

LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL

OUTLETS AND RECEPTACLES MIN. 15" ABOVE INTERIOR FLOOR LEVEL EXCEPT FOR FLOOR OUTLETS



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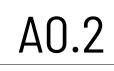
05.13.2022

22-080

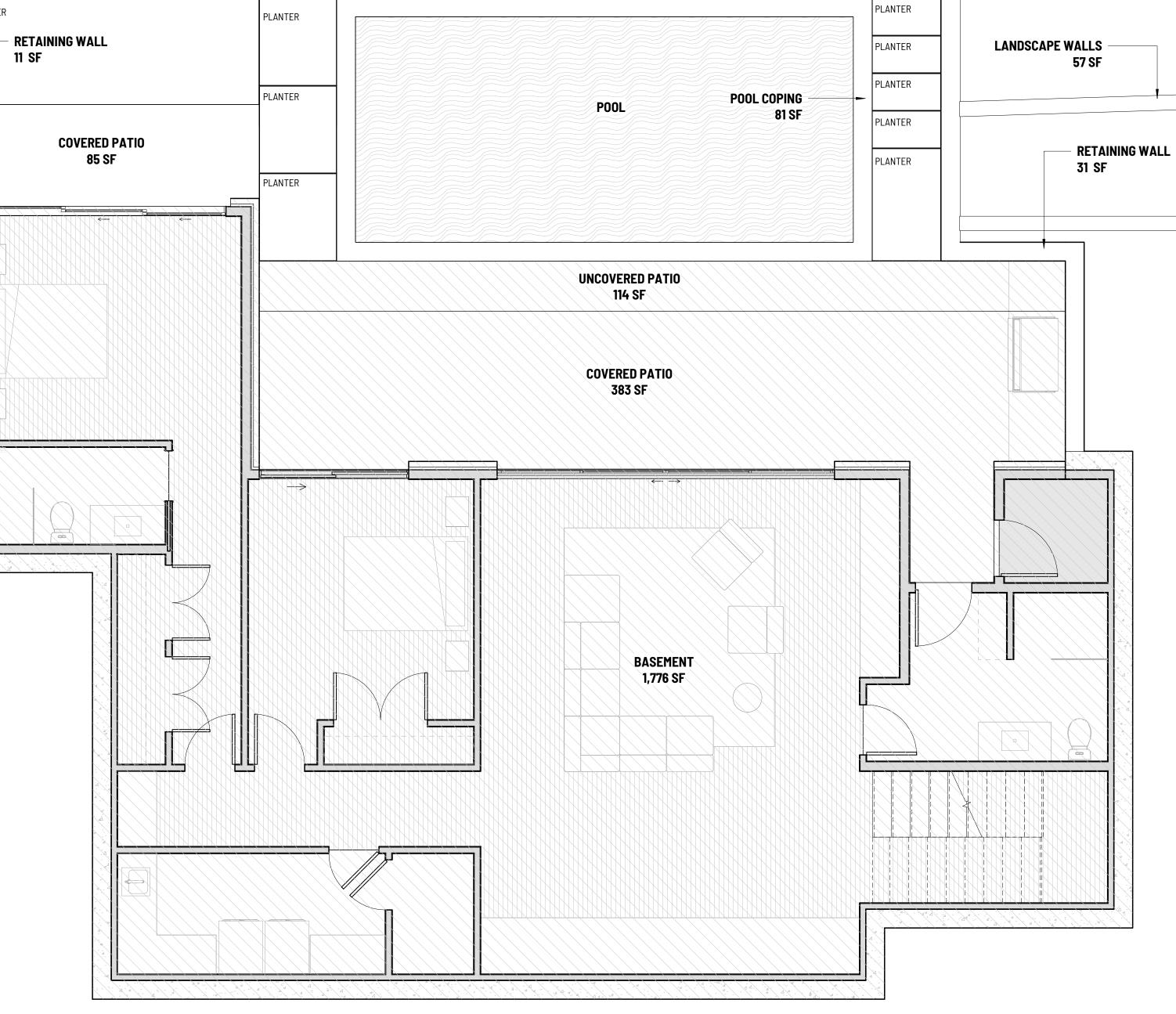
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Visitability Plan







Basement - Area Plan

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05.13.2022

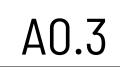
Project number

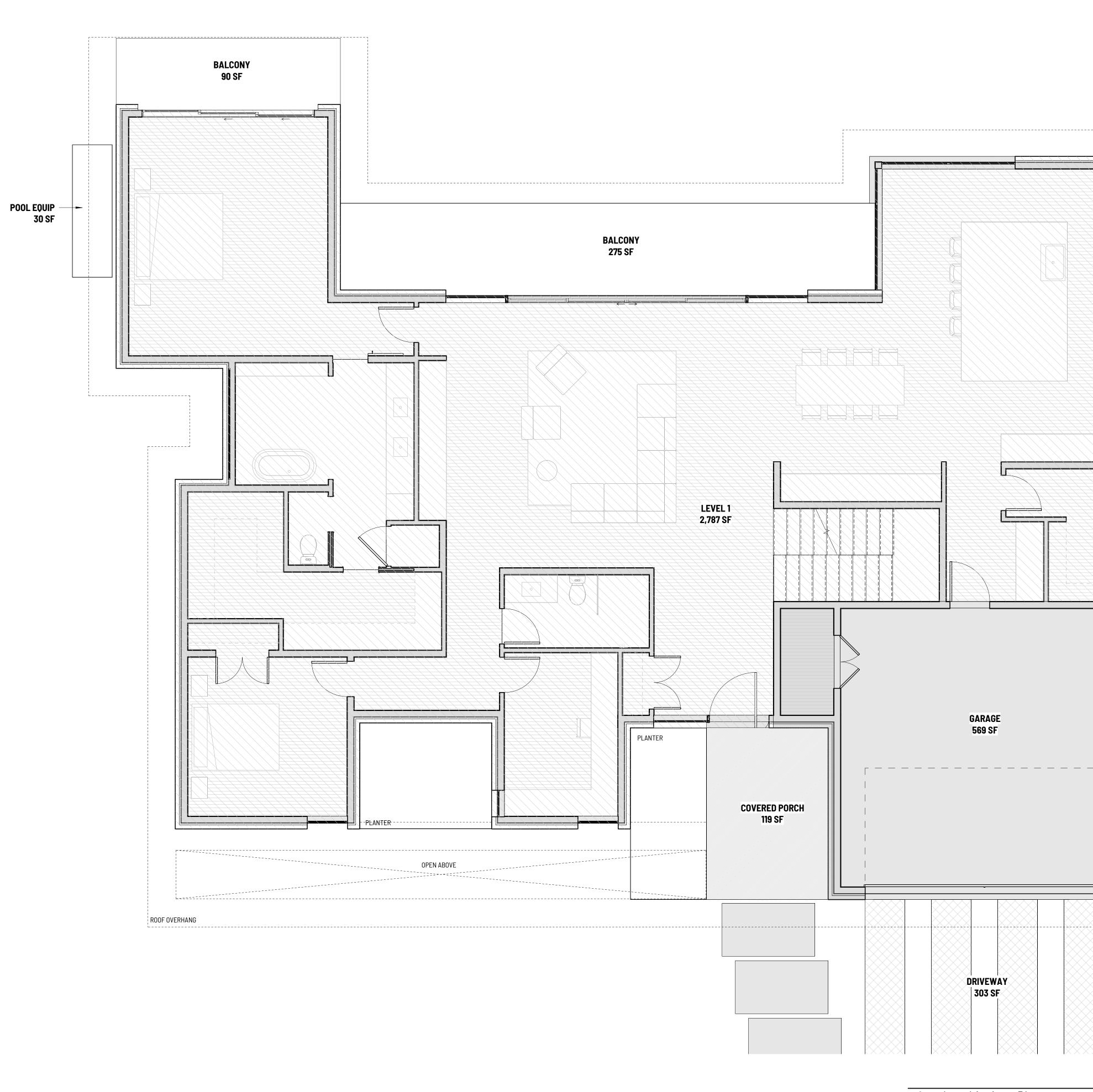
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Cedarview Residence

2900 Cedarview Drive Austin, TX 78704

Area Calculation -Basement





Level	1-	· Ar	.ea	P	lan
FULL SCALE:	: 1/4" =	1'-0"			

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ROOF OVERHANG

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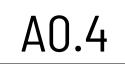
05.13.2022

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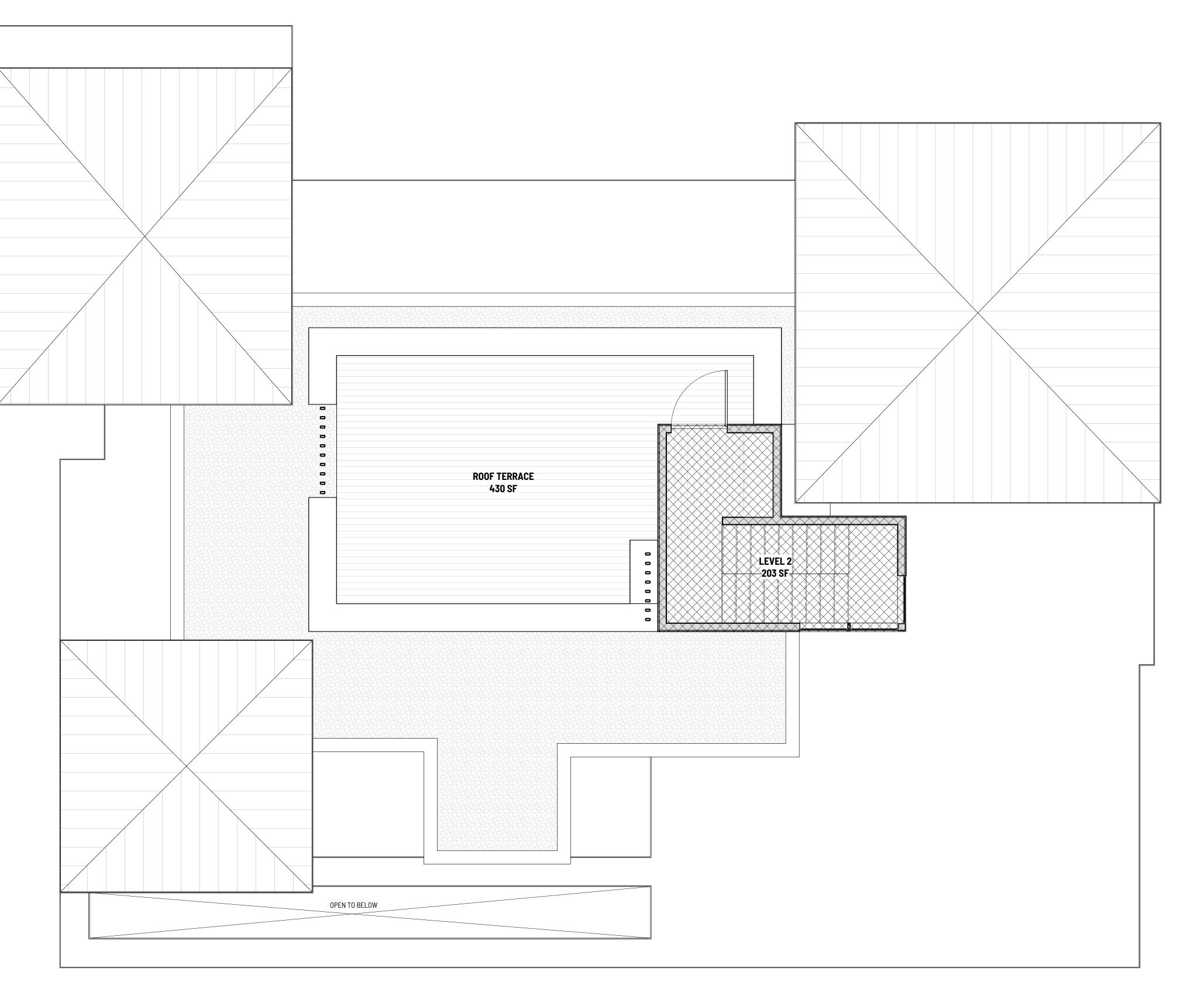
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Area Calculation - Level 1



HALF SCALE: 1/8" = 1'-0"

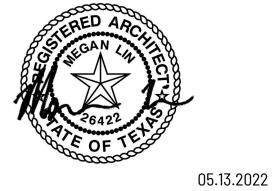


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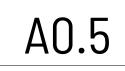
Project number

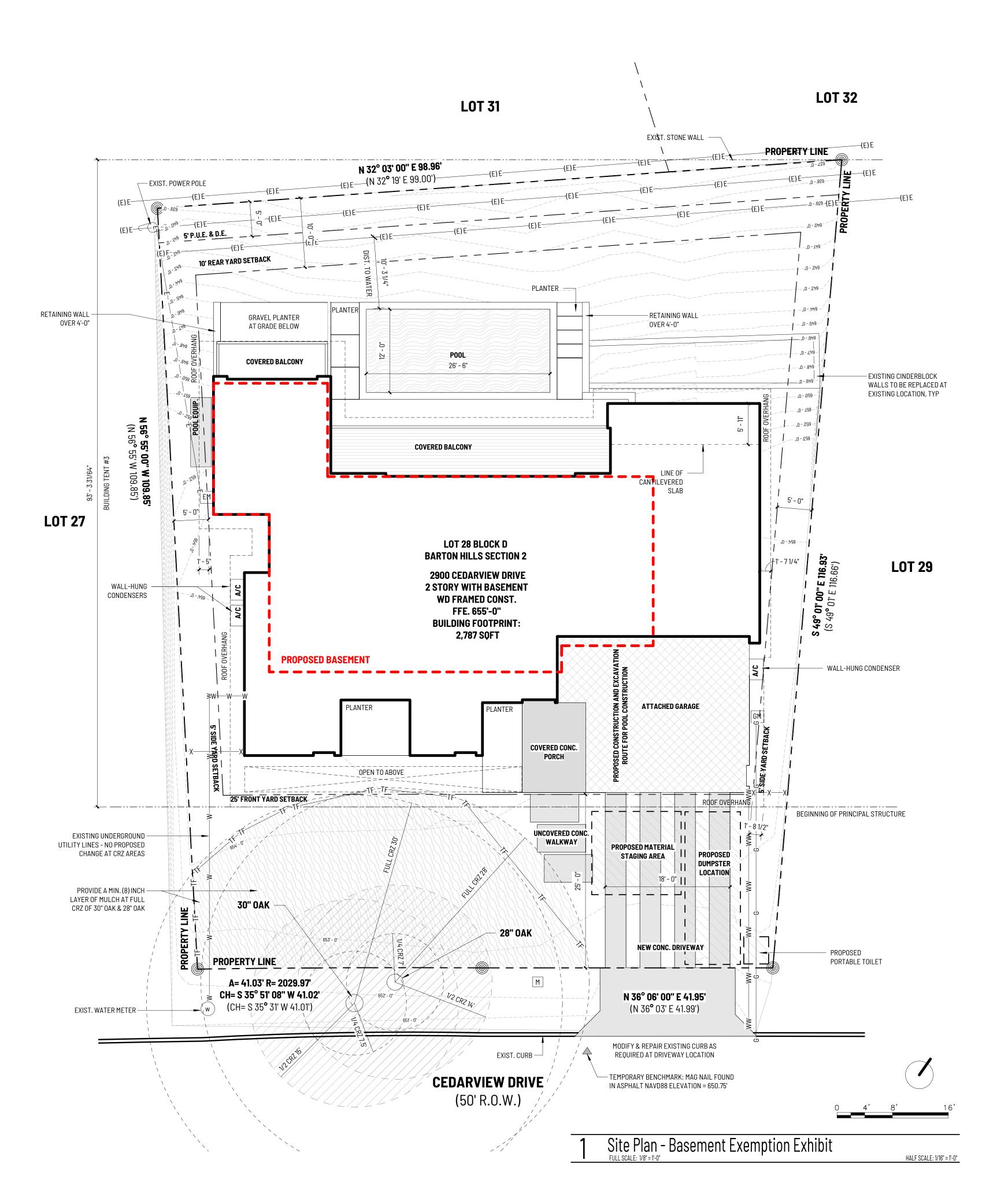
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Area Calculation - Level 2





3.3.3 B.

AND IS: Α.

THE FINISHED FLOOR OF THE FIRST STORY IS NOT MORE THAN THREE FEET ABOVE THE AVERAGE ELEVATION AT THE INTERSECTIONS OF THE MINIMUM FRONT YARD SETBACK LINE AND THE SIDE PROPERTY LINES

GENERAL NOTES:

1. REFER TO SHEET A0.7 FOR BASEMENT EXEMPTION ELEVATION EXHIBITS

BASEMENT EXEMPTION REQUIREMENTS

A HABITABLE PORTION OF A BUILDING THAT IS BELOW GRADE IF:

- 1. THE HABITABLE PORTION DOES NOT EXTEND BEYOND THE FIRST-STORY FOOTPRINT
 - BELOW NATURAL OR FINISHED GRADE, WHICHEVER IS LOWER; AND SURROUNDED BY NATURAL GRADE FOR AT LEAST 50% OF ITS PERIMETER WALL AREA, IF THE HABITABLE PORTION IS REQUIRED TO BE BELOW NATURAL GRADE UNDER PARAGRAPH 1.A



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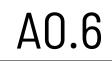
22-080

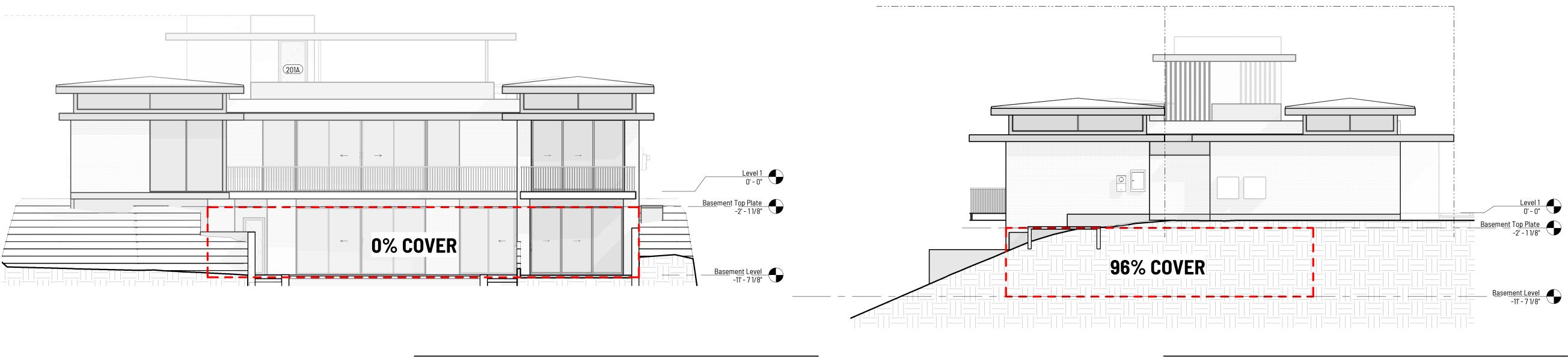
As indicated

Cedarview Residence

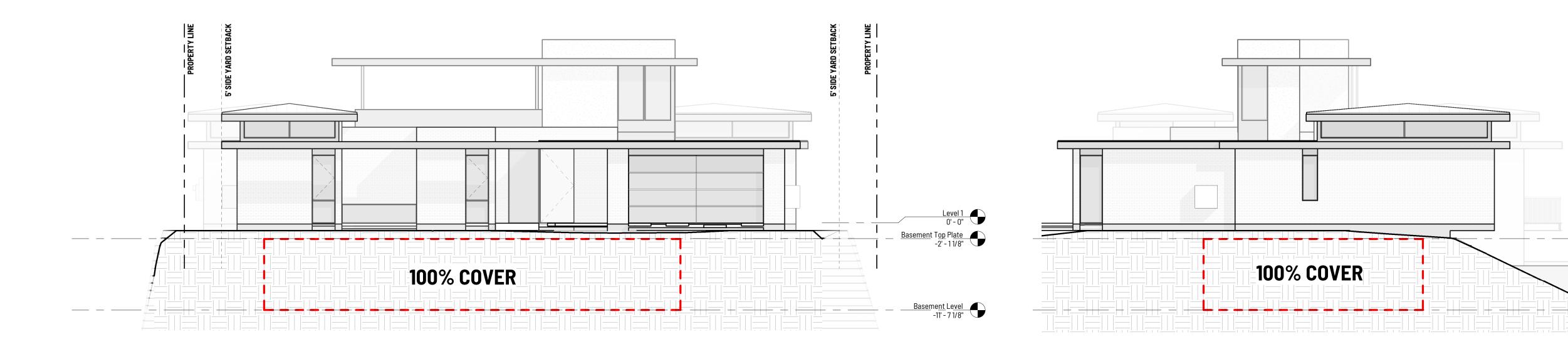
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Basement Exemption Exhibit





Exterior Elevation - West - Basement Exemption HALF SCALE: 1/8" = 1'-0"





2.

Exterior Elevation - South - Basement Exemption

GENERAL NOTES:

3.3.3 B. A HABITABLE PORTION OF A BUILDING THAT IS BELOW GRADE IF:

1. THE HABITABLE PORTION DOES NOT EXTEND BEYOND THE FIRST-STORY FOOTPRINT AND IS:

A. BELOW NATURAL OR FINISHED GRADE, WHICHEVER IS LOWER; AND SURROUNDED BY NATURAL GRADE FOR AT LEAST 50% OF ITS PERIMETER B. WALL AREA, IF THE HABITABLE PORTION IS REQUIRED TO BE BELOW NATURAL GRADE UNDER PARAGRAPH 1.A

THE FINISHED FLOOR OF THE FIRST STORY IS NOT MORE THAN THREE FEET ABOVE THE AVERAGE ELEVATION AT THE INTERSECTIONS OF THE MINIMUM FRONT YARD SETBACK LINE AND THE SIDE PROPERTY LINES

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HALF SCALE: 1/8" = 1'-0"

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1	Permit Set	05.13.2022

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05.13.2022

Project number

22-080

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Basement Exemption Exhibit

A0.7

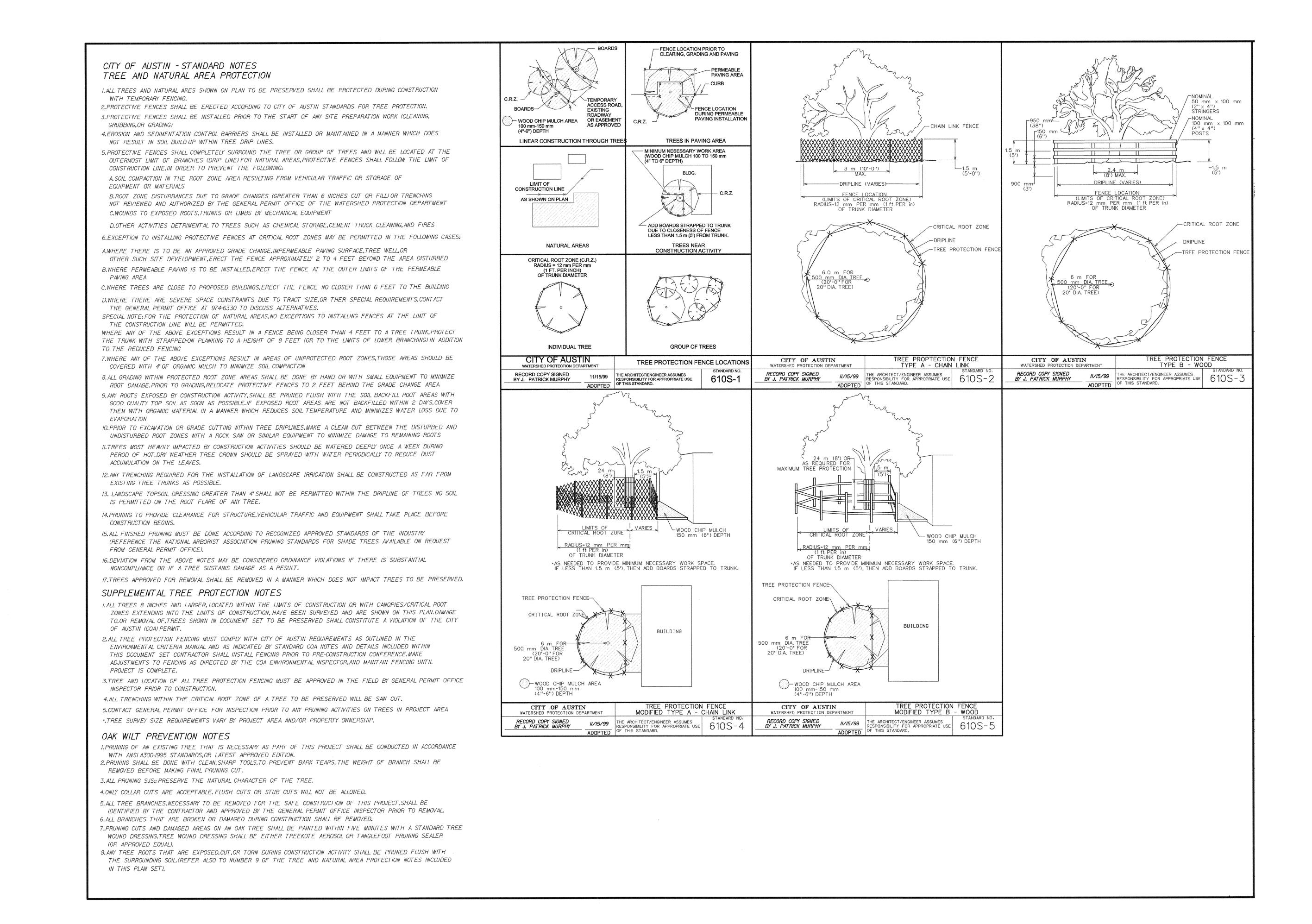
Exterior Elevation - North - Basement Exemption

HALF SCALE: 1/8" = 1'-0" Scale

Level 1 0' - 0"

Basement Top Plate -2' - 11/8"

<u>Bas</u>ement <u>Level</u> -11' - 7 1/8"



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1	Permit Set	05.13.2022

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05.13.2022

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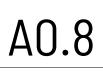
Jeet 11201

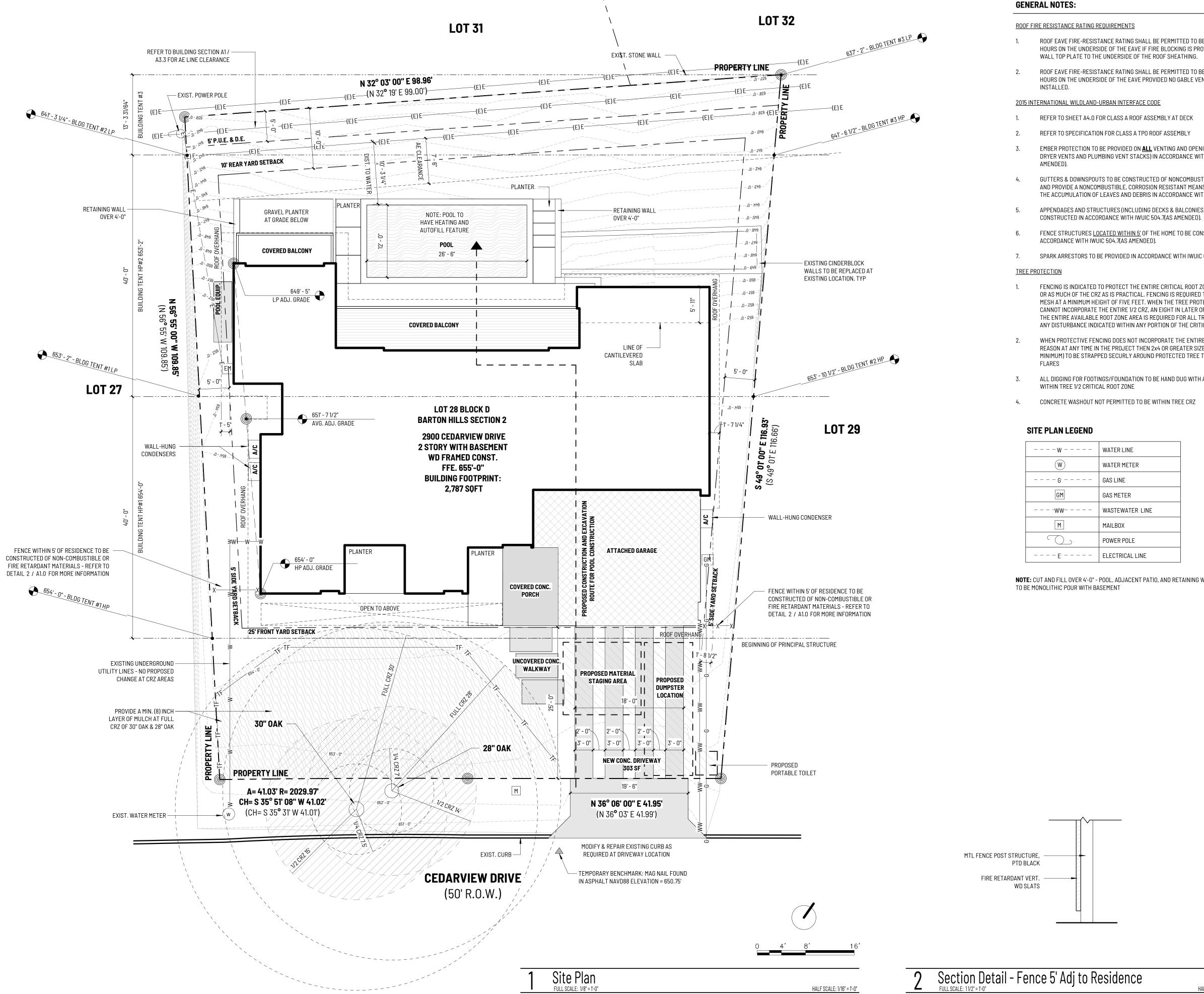
_ ...

Cedarview Residence

Austin, TX 78704

Tree Protection





- ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO O HOURS ON THE UNDERSIDE OF THE EAVE IF FIRE BLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.
- ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE EAVE PROVIDED NO GABLE VENT OPENINGS ARE
- 2015 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
 - REFER TO SHEET A4.0 FOR CLASS A ROOF ASSEMBLY AT DECK
 - REFER TO SPECIFICATION FOR CLASS A TPO ROOF ASSEMBLY
 - EMBER PROTECTION TO BE PROVIDED ON ALL VENTING AND OPENINGS (EXCLUDING DRYER VENTS AND PLUMBING VENT STACKS) IN ACCORDANCE WITH IWUIC 504.10(AS
 - GUTTERS & DOWNSPOUTS TO BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND PROVIDE A NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN ACCORDANCE WITH IWUIC 504.4.
 - APPENDAGES AND STRUCTURES (INCLUDING DECKS & BALCONIES) TO BE
 - FENCE STRUCTURES LOCATED WITHIN 5' OF THE HOME TO BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.7(AS AMENDED).
- 7. SPARK ARRESTORS TO BE PROVIDED IN ACCORDANCE WITH IWUIC 605.

- FENCING IS INDICATED TO PROTECT THE ENTIRE CRITICAL ROOT ZONE (CRZ) AREA OR AS MUCH OF THE CRZ AS IS PRACTICAL. FENCING IS REQUIRED TO BE CHAIN-LINK MESH AT A MINIMUM HEIGHT OF FIVE FEET. WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRZ, AN EIGHT IN LATER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED FOR ALL TREES WHICH HAVE ANY DISTURBANCE INDICATED WITHIN ANY PORTION OF THE CRITICAL ROOT ZONE.
- WHEN PROTECTIVE FENCING DOES NOT INCORPORATE THE ENTIRE ½ CRZ FOR ANY REASON AT ANY TIME IN THE PROJECT THEN 2x4 OR GREATER SIZE PLANKS (6' TALL MINIMUM) TO BE STRAPPED SECURLY AROUND PROTECTED TREE TRUNKS AND ROOT
- ALL DIGGING FOR FOOTINGS/FOUNDATION TO BE HAND DUG WITH AIR SPADING WITHIN TREE 1/2 CRITICAL ROOT ZONE
- 4. CONCRETE WASHOUT NOT PERMITTED TO BE WITHIN TREE CRZ

W	WATER LINE
W	WATER METER
– – – – G [.] – – – – –	GAS LINE
GM	GAS METER
WW	WASTEWATER LINE
Μ	MAILBOX
\bigcirc	POWER POLE
– – – – E [.] – – – – –	ELECTRICAL LINE

NOTE: CUT AND FILL OVER 4'-0" - POOL, ADJACENT PATIO, AND RETAINING WALLS

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No.	Description	Date
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05.13.2022

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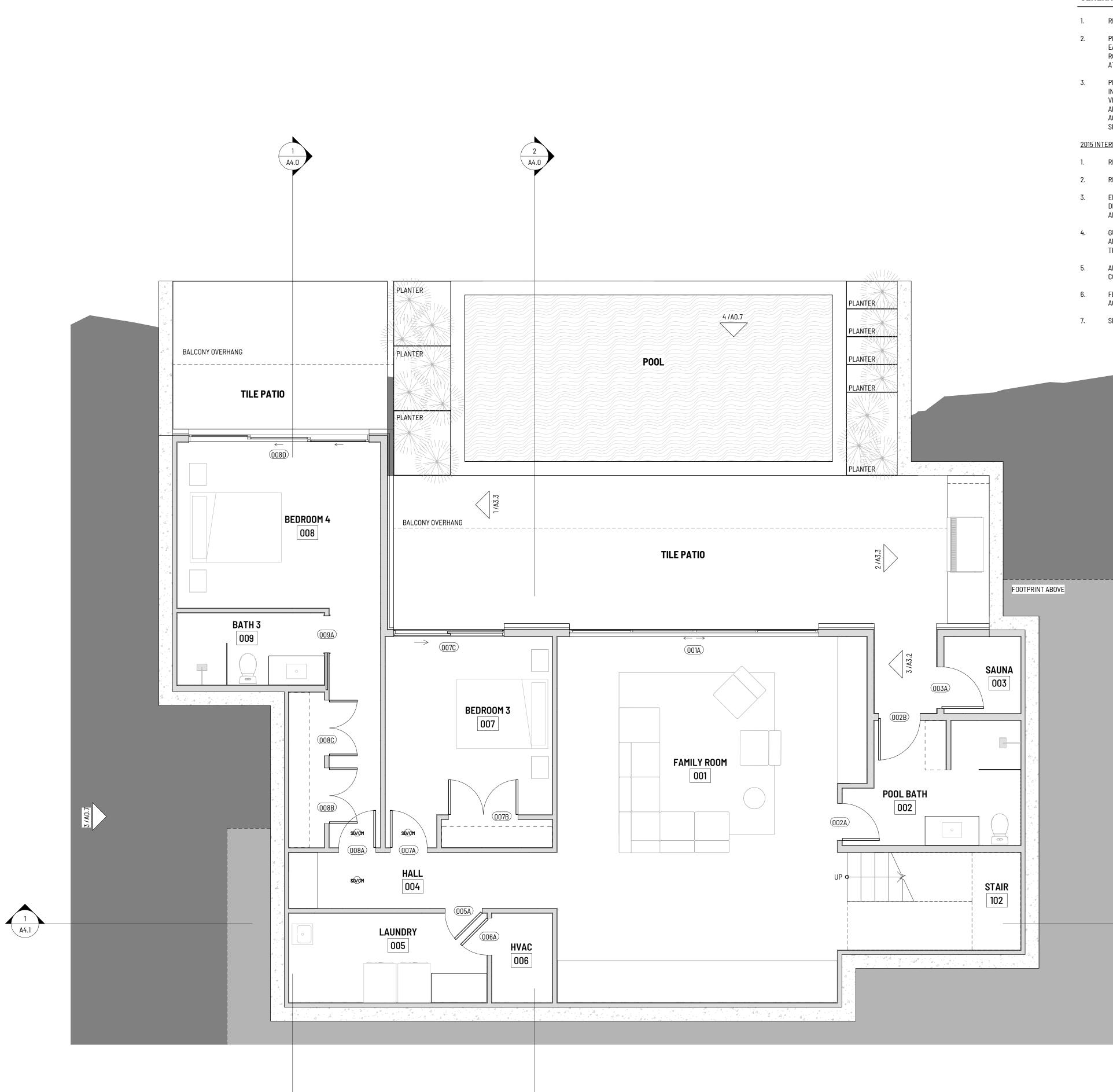
Cedarview Residence

2900 Cedarview Drive Austin, TX 78704

Site Plan

A1.0

HALF SCALE: 3/4" = 1'-0"



1. REFER TO SHEETS A0.3 AND A0.4 FOR CITY OF AUSTIN AREA CALCULATIONS

PROVIDE SMOKE ALARMS- HARD WIRED, INTERCONNECTED, BATTERY BACKUP, AT EACH SLEEPING ROOM AND IMMEDIATE COMMON AREA OUTSIDE OF SLEEPING ROOMS. IF APPLICABLE, ON EACH STORY INCLUDING BASEMENTS AND HABITABLE ATTIC. IN ACCORDANCE WITH 2021 IRC SEC R314.

PROVIDE CARBON MONOXIDE ALARM- HARD WIRED WITH BATTERY BACKUP, INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA AND IN THE IMMEDIATE VICINITY OF BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND/OR HAVE AN ATTACHED GARAGE. IN ACCORDANCE WITH 2021 IRC SEC R315. SPECIFICATION - FIRST ALERT SC9120BFF

2015 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE

1. REFER TO SHEET A4.0 FOR CLASS A ROOF ASSEMBLY AT DECK

2. REFER TO SPECIFICATION FOR CLASS A TPO ROOF ASSEMBLY

EMBER PROTECTION TO BE PROVIDED ON <u>ALL</u> VENTING AND OPENINGS (EXCLUDING DRYER VENTS AND PLUMBING VENT STACKS) IN ACCORDANCE WITH IWUIC 504.10(AS AMENDED).

GUTTERS & DOWNSPOUTS TO BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND PROVIDE A NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN ACCORDANCE WITH IWUIC 504.4.

APPENDAGES AND STRUCTURES (INCLUDING DECKS & BALCONIES) TO BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.7(AS AMENDED).

FENCE STRUCTURES <u>LOCATED WITHIN 5′</u> OF THE HOME TO BE CONSTRUCTED IN ACCORDANCE WITH IWUIC 504.7(AS AMENDED).

7. SPARK ARRESTORS TO BE PROVIDED IN ACCORDANCE WITH IWUIC 605.

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Project number

22-080

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Symbol Plan - Basement Level

A2.0



1. REFER TO A2.0 FOR GENERAL NOTES

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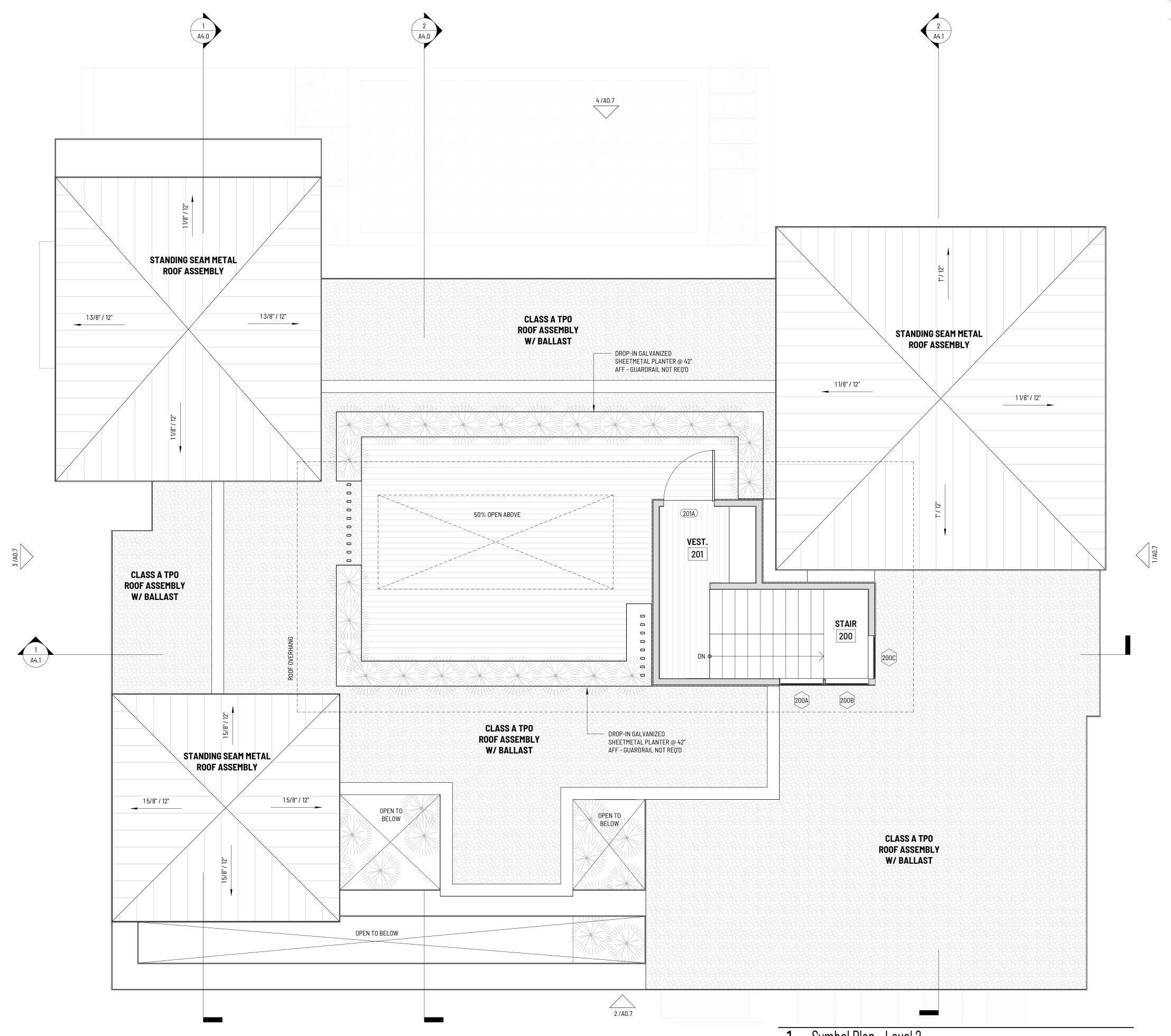
22-080

Cedarview Residence

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Symbol Plan - Level 1





Symbol Plan - Level 2 FULL SCALE: 1/4"= 1-0"

HALF SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. REFER TO A2.0 FOR GENERAL NOTES

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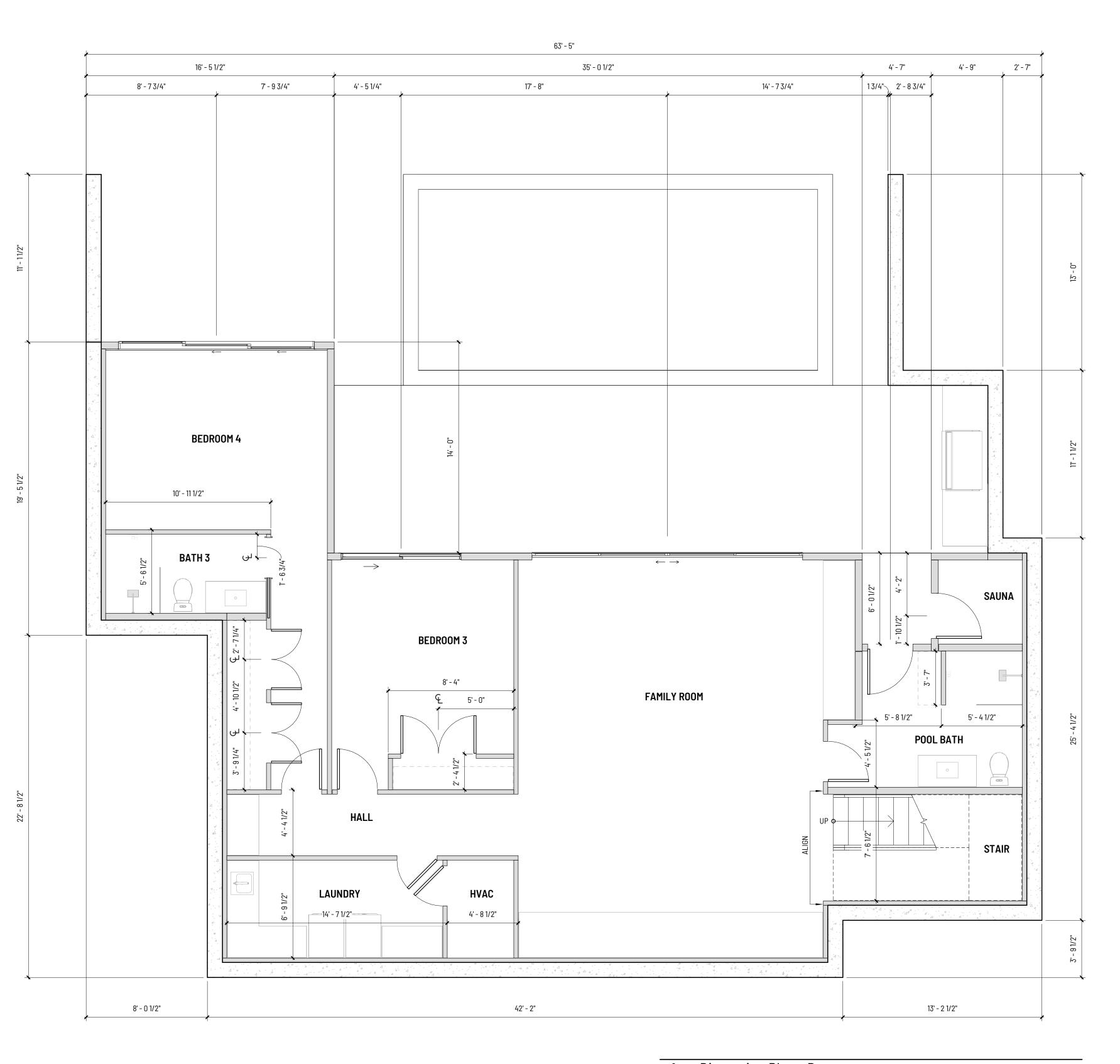
22-080

Cedarview Residence

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Symbol Plan - Level 2





1. PLAN DIMENSIONS ARE TO FACE OF STUD OR CENTER LINE, UNLESS NOTED OTHERWISE.

2. ALIGNMENT TAKES PRECEDENT OVER DIMENSIONS. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

3. DO NOT SCALE THE DRAWINGS - THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

4. DOORS TO BE 4" FROM PARTITION, UNLESS NOTED OTHERWISE. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

5. ALL INTERIOR PARTITIONS TO BE TYPE "1" U.N.O.



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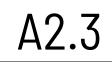
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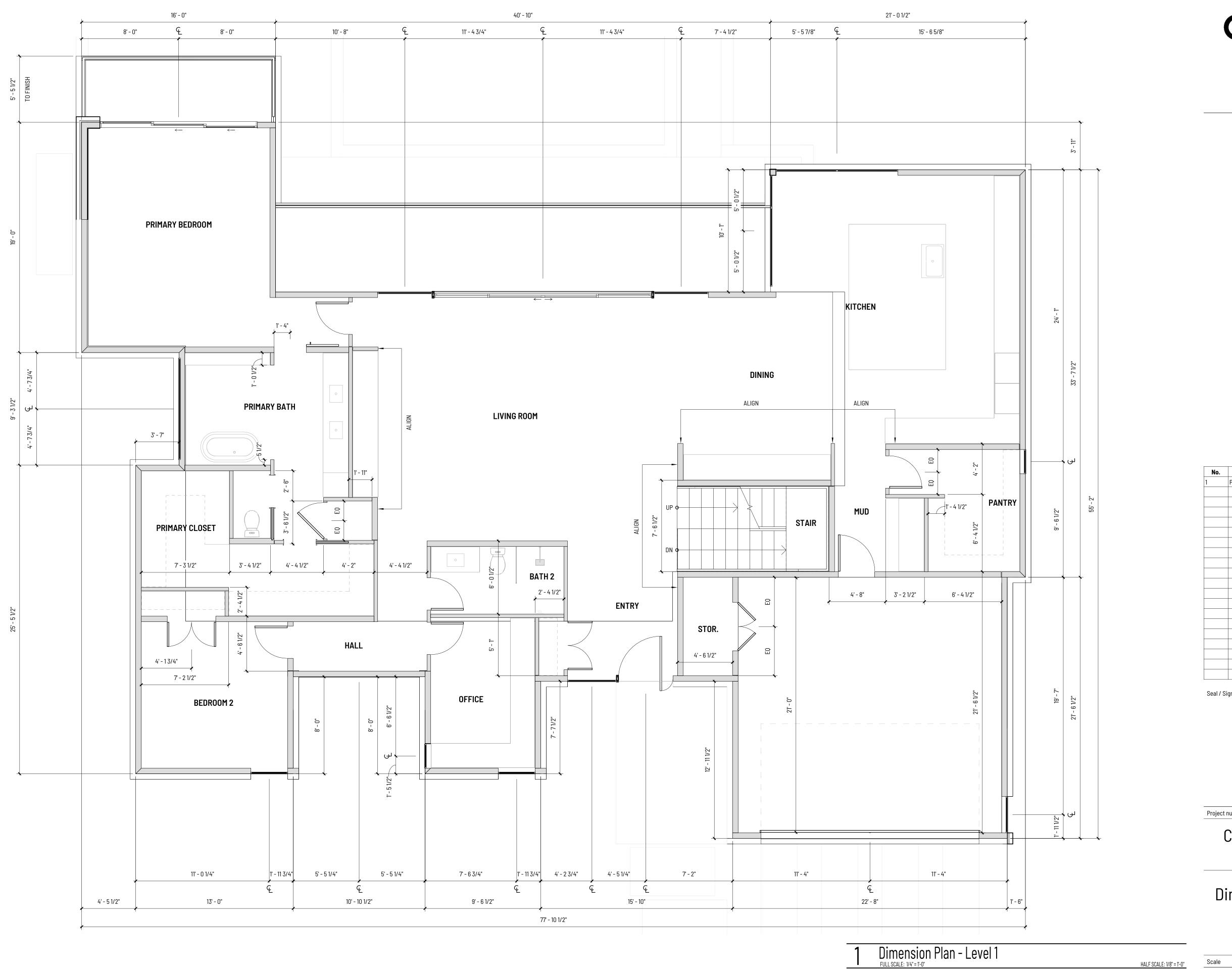
22-080

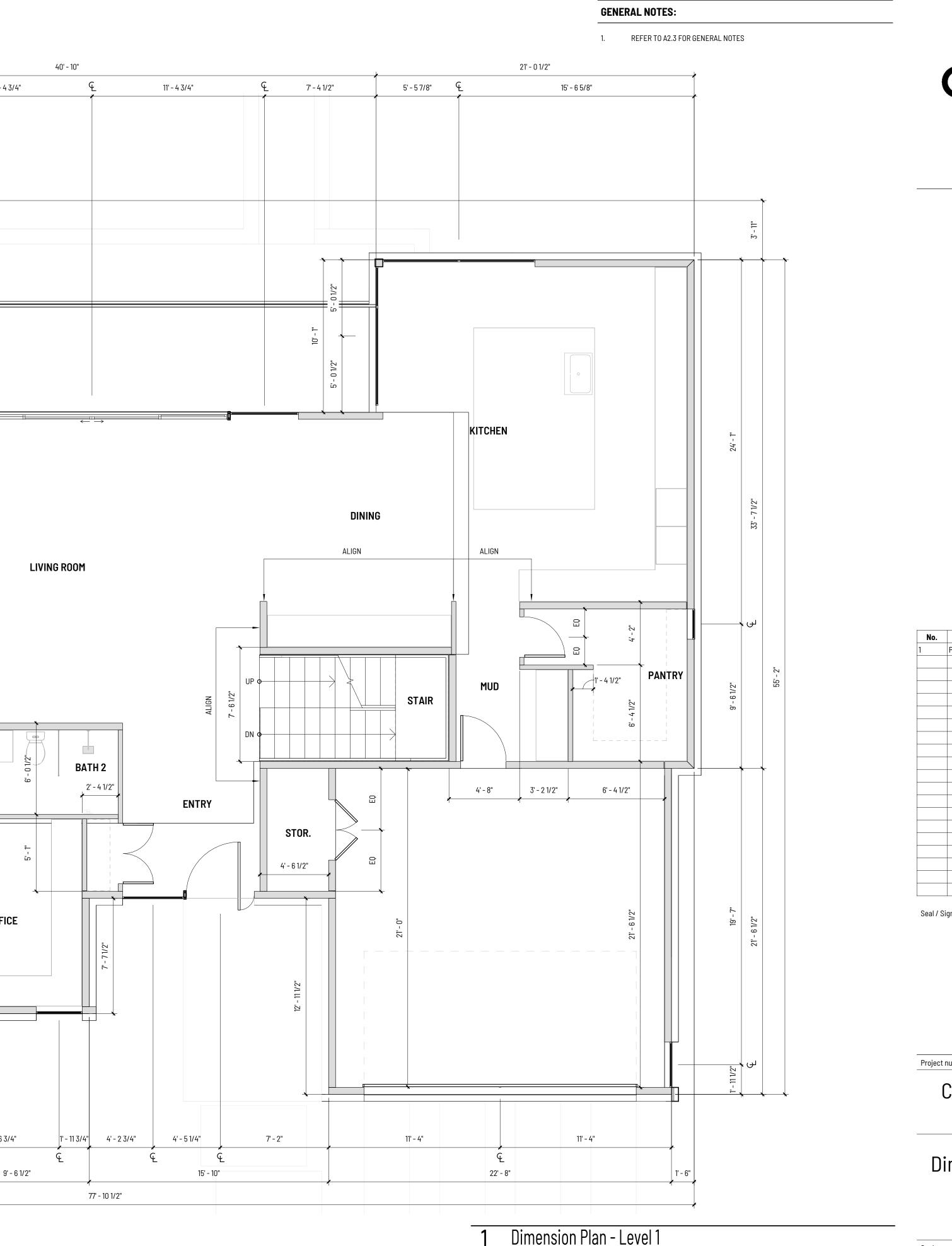
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Dimension Plan -**Basement Level**







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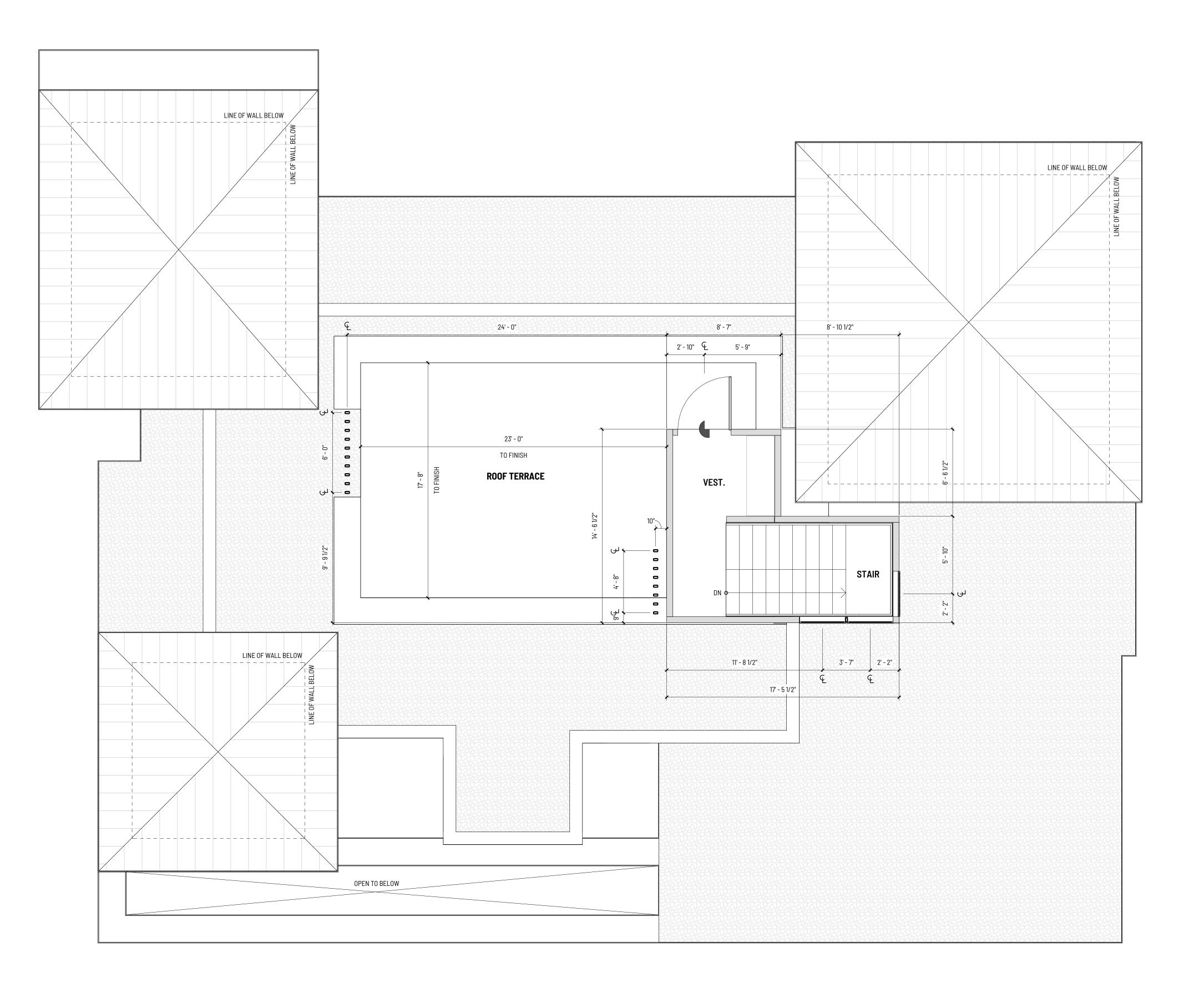
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Dimension Plan - Level 1





1. REFER TO A2.3 FOR GENERAL NOTES

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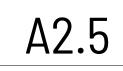
Project number

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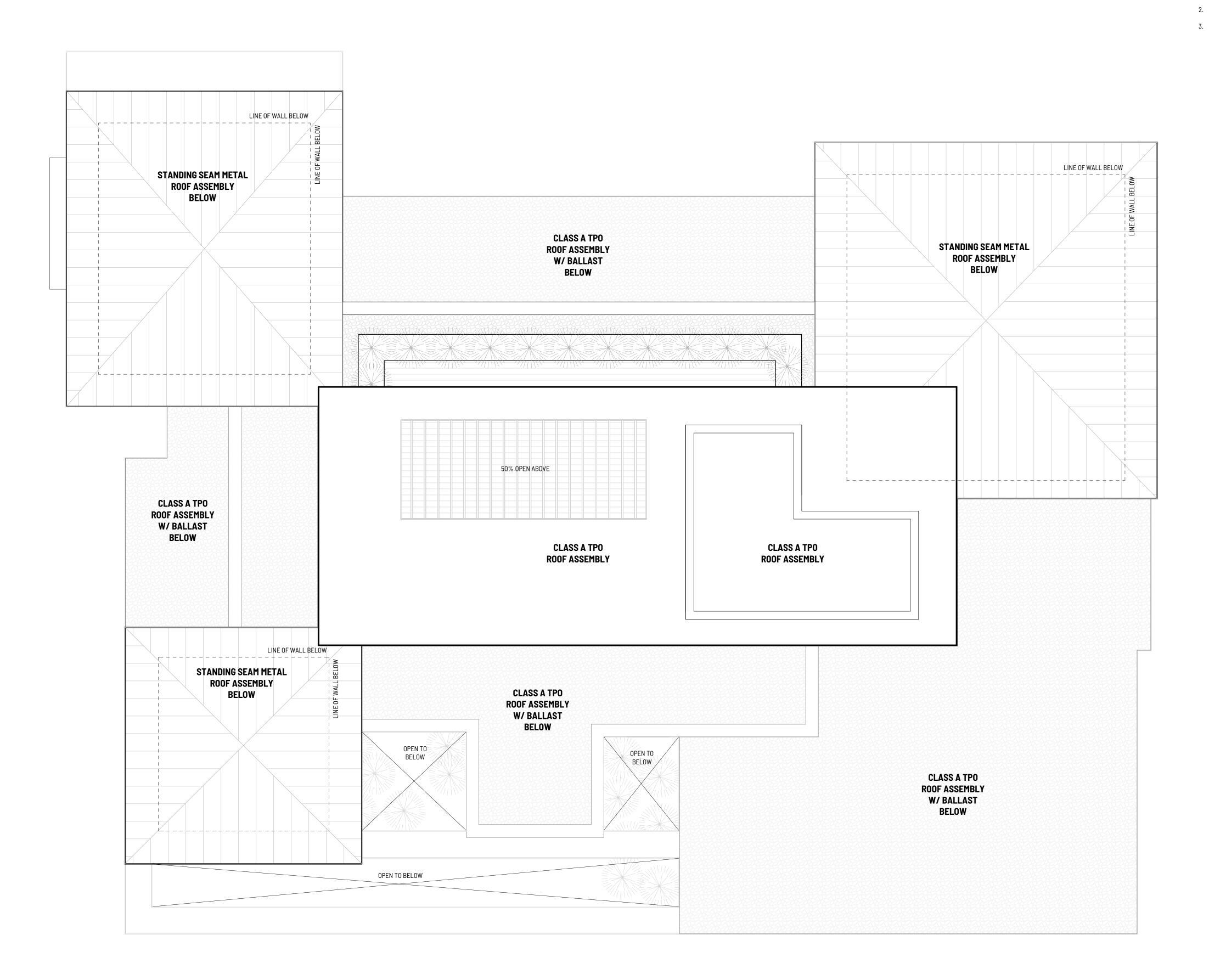
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Dimension Plan - Level 2



HALF SCALE: 1/8" = 1'-0"



1	Deef Dien
	Roof Plan
•	FULL SCALE: 1/4" = 1'-0"

1. ROOF SLOPE TO BE 1/4" PER FT, U.N.O.

2. REFER TO SHEET A1.0 FOR ROOF FIRE RESISTANCE RATING REQUIREMENTS

3. REFER TO SHEET A1.0 FOR WILDLAND INTERFACE CODE REQUIREMENTS



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Scale

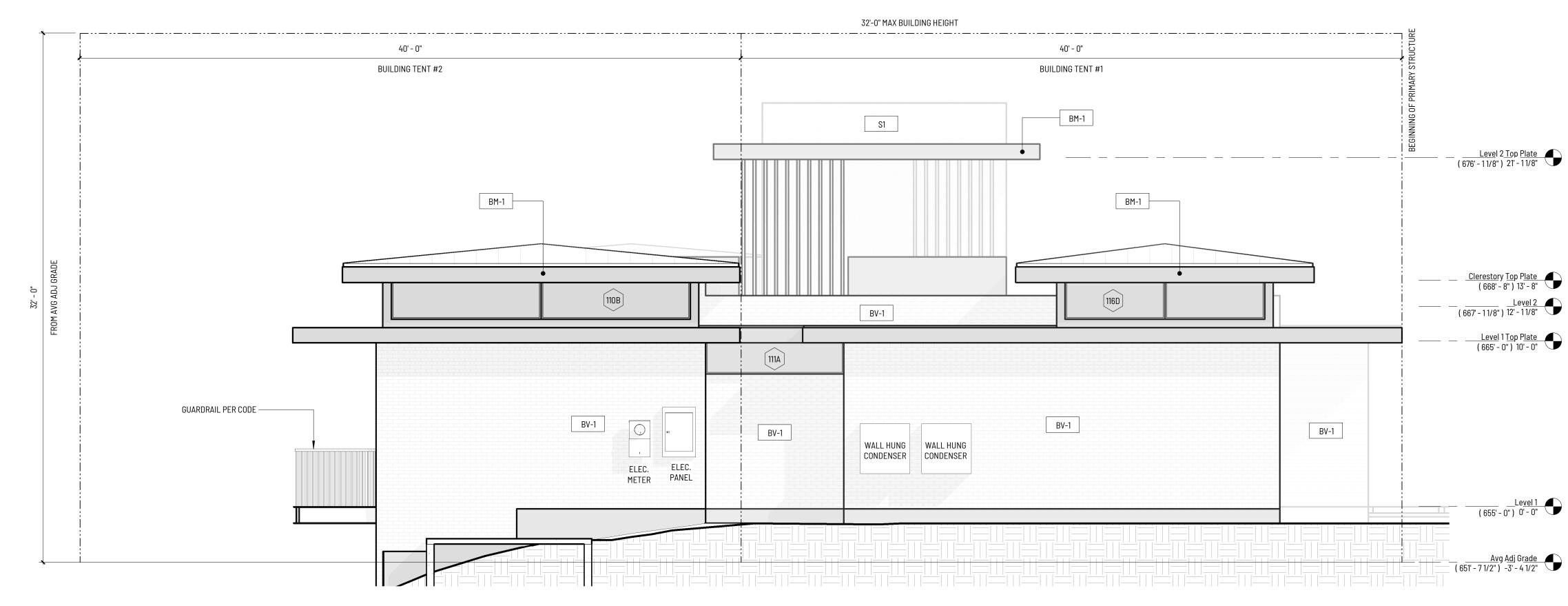
22-080

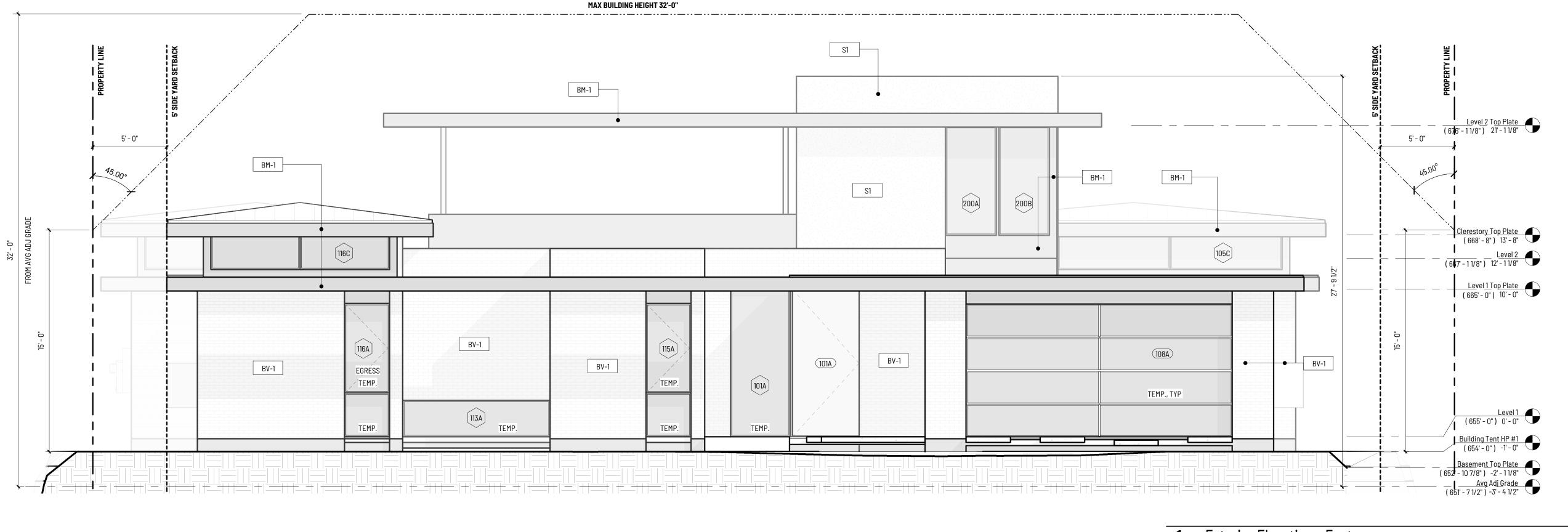
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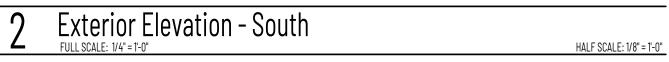
Roof Plan

A2.6









Exterior Elevation - East

GENERAL NOTES:

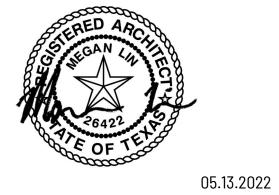
1. REFER TO SHEET A0.1 FOR MATERIAL INDEX AND SPECIFICATIONS



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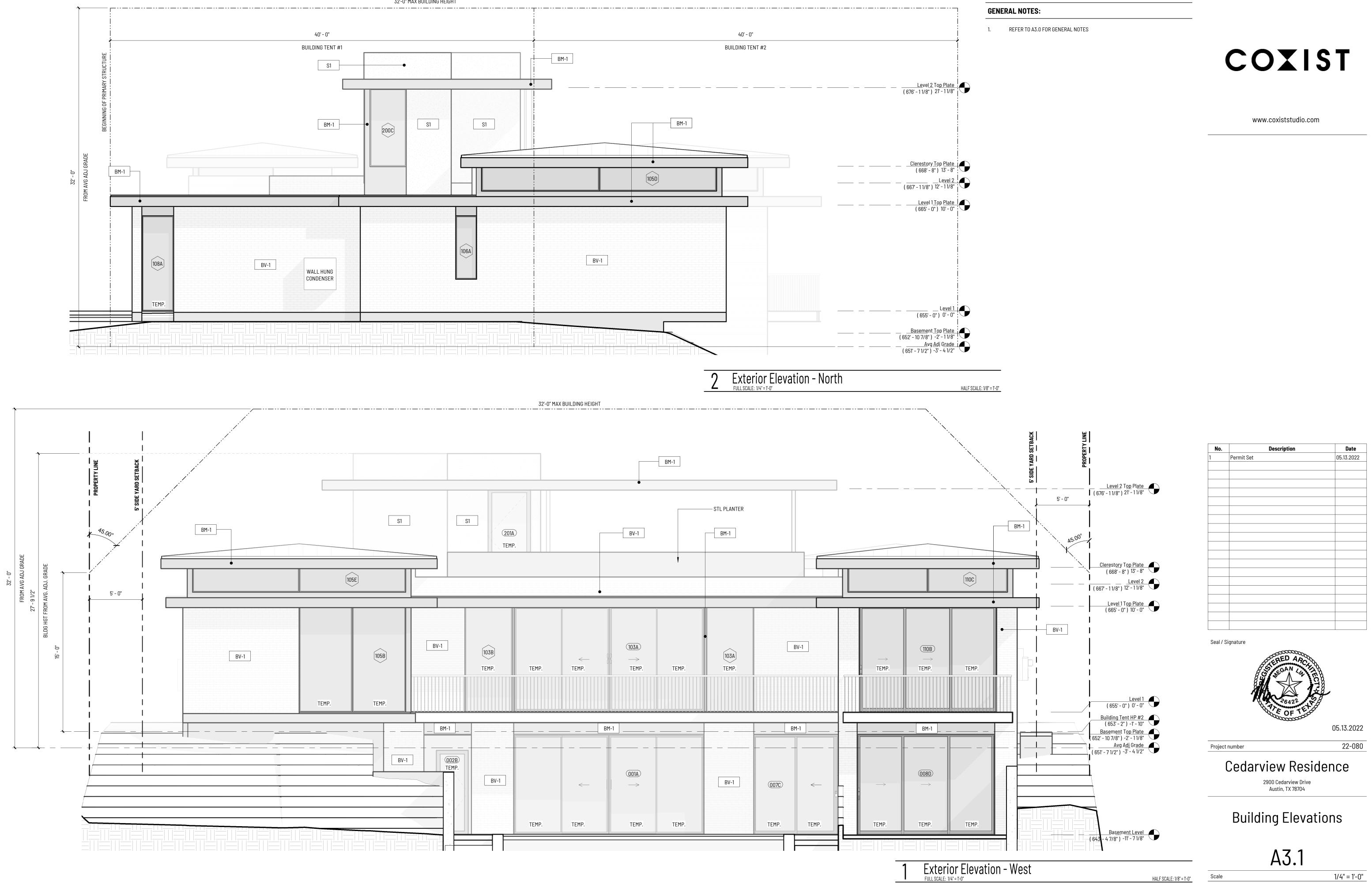
Cedarview Residence

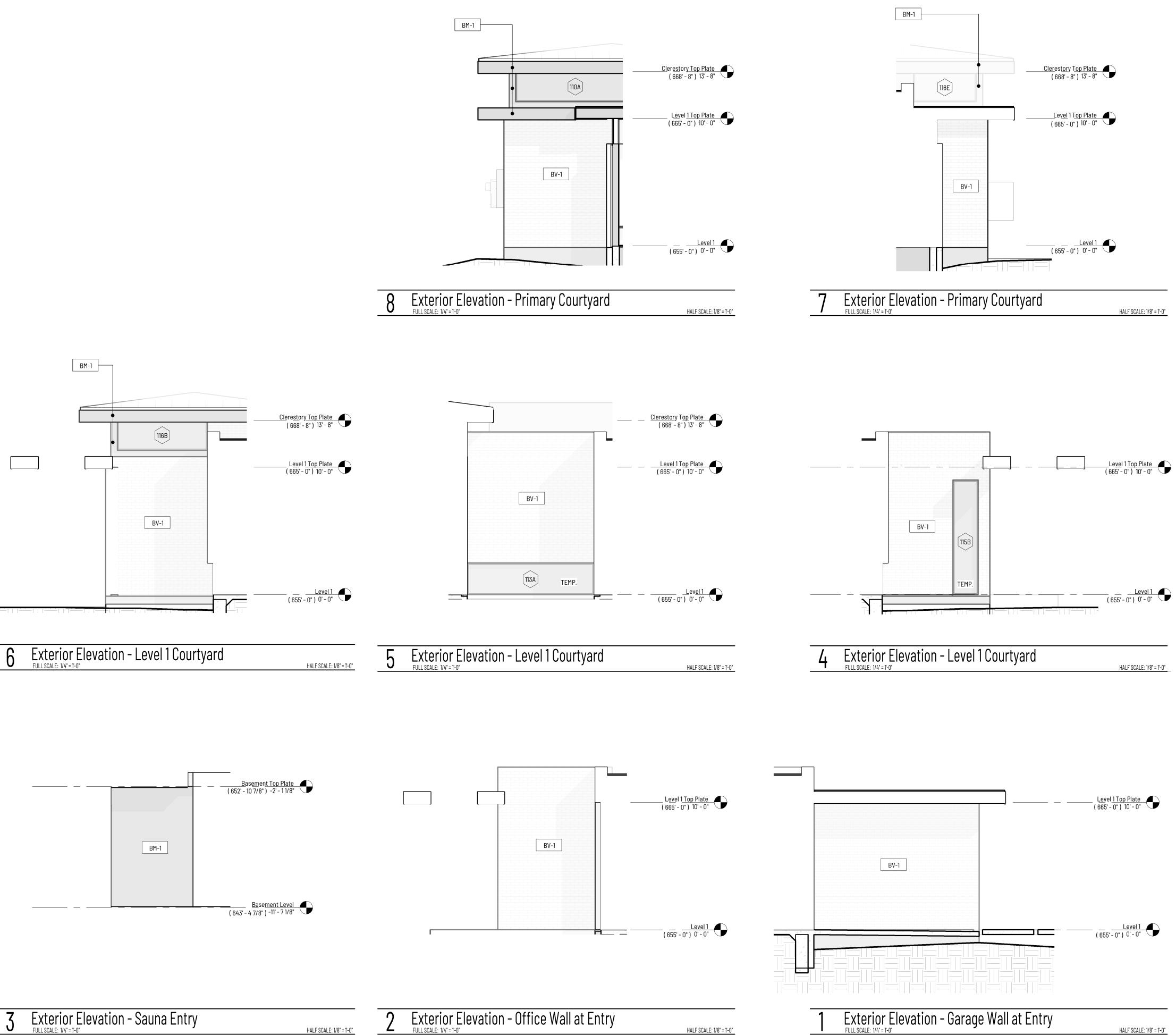
2900 Cedarview Drive Austin, TX 78704

Building Elevations



HALF SCALE: 1/8" = 1'-0"





HALF SCALE: 1/8" = 1'-0" L

Exterior Elevation - Office Wall at Entry

HALF SCALE: 1/8" = 1'-0"



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05.13.2022

Date

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22-080

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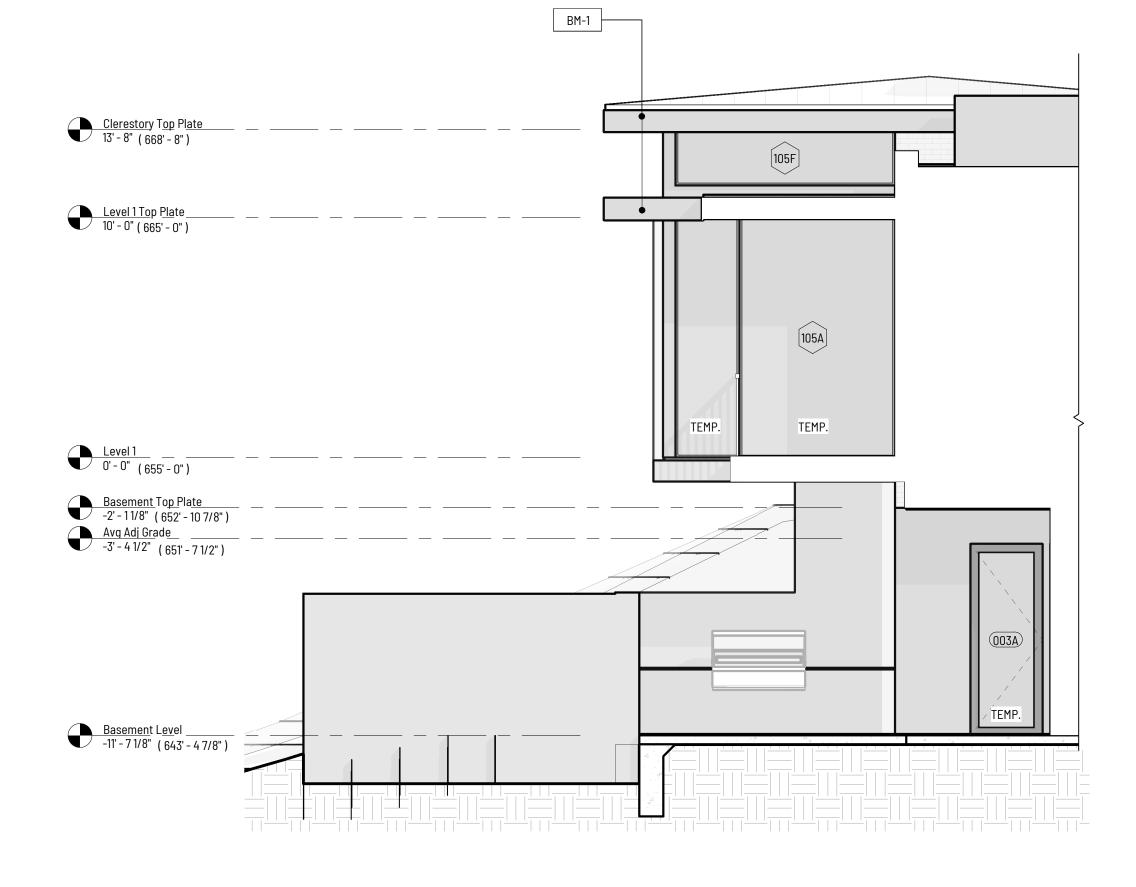
Building Elevations

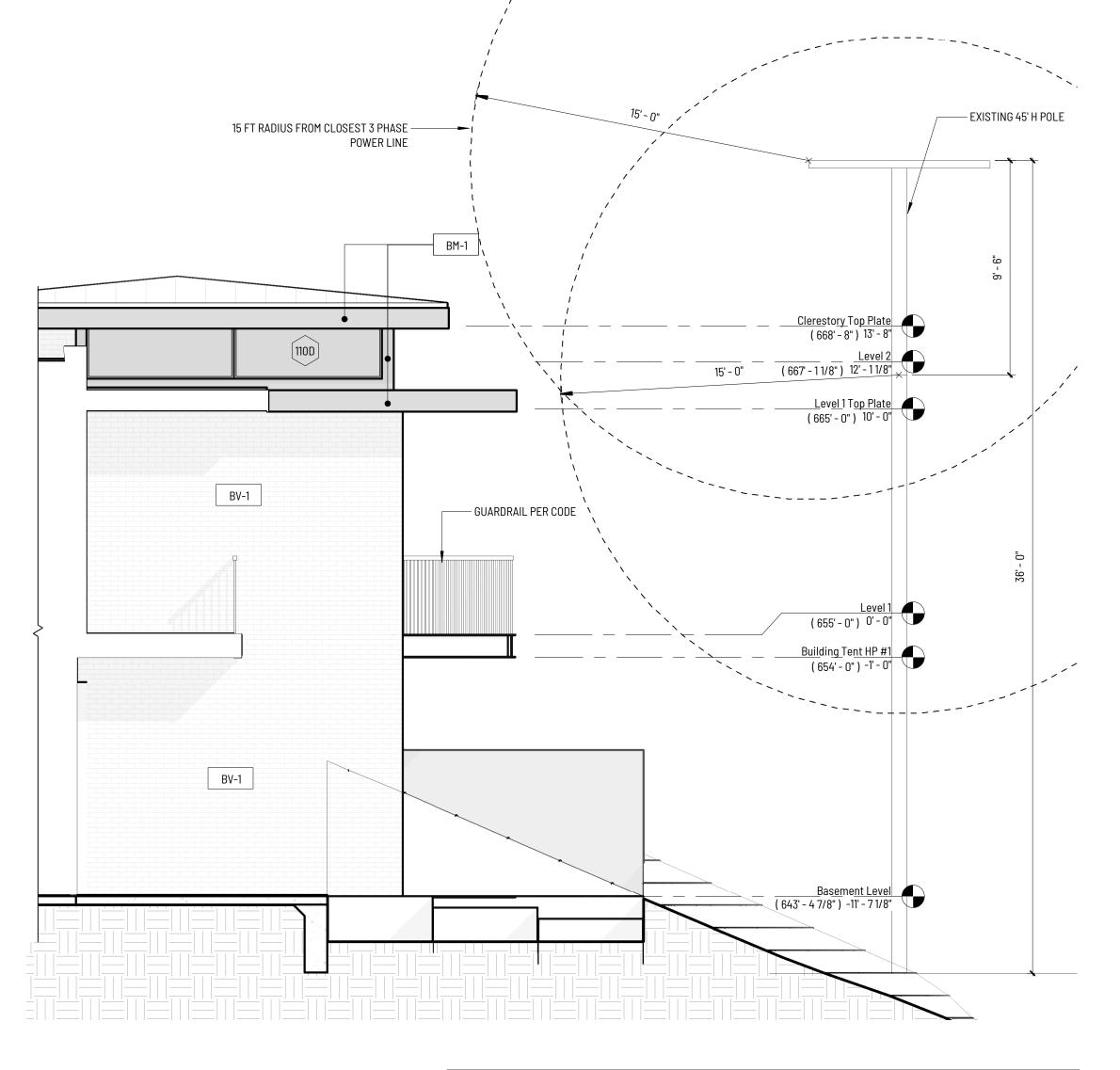


HALF SCALE: 1/8" = 1'-0"

Scale

1/4" = 1'-0"





Exterior Elevation - Rear Balcony

HALF SCALE: 1/8" = 1'-0"

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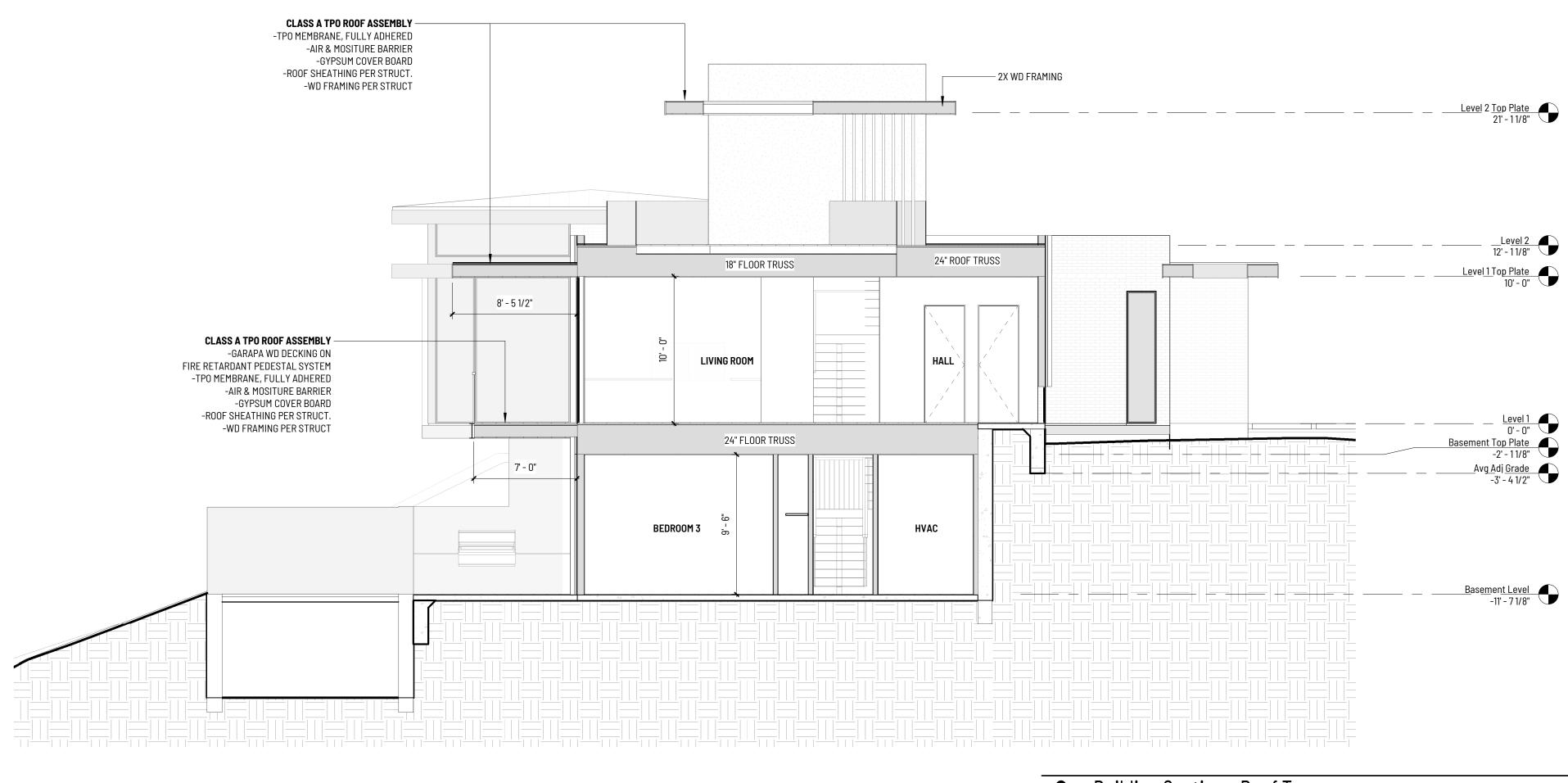
22-080

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Building Elevations





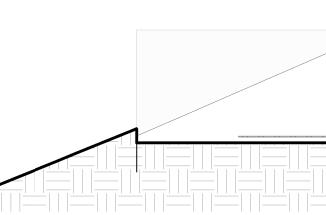


STANDING SEAM METAL ROOF ASSEMBLY -STANDING SEAM METAL ROOFING -AIR & MOSITURE BARRIER -ROOF SHEATHING PER STRUCT. -WD FRAMING PER STRUCT

> CLASS A TPO ROOF ASSEMBLY --TPO MEMBRANE, FULLY ADHERED -AIR & MOSITURE BARRIER -GYPSUM COVER BOARD -ROOF SHEATHING PER STRUCT. -WD FRAMING PER STRUCT

CLASS A TPO ROOF ASSEMBLY -GARAPA WD DECKING ON FIRE RETARDANT PEDESTAL SYSTEM -TPO MEMBRANE, FULLY ADHERED

-AIR & MOSITURE BARRIER -GYPSUM COVER BOARD -ROOF SHEATHING PER STRUCT. -WD FRAMING PER STRUCT



Building Section - Roof Terrace)

Building Section - Primary Bedroom

GENERAL NOTES:

1. REFER TO 3/A4.1 FOR DECK DETAIL TO MEET WILDLAND INTERFACE CODE REQUIREMENTS

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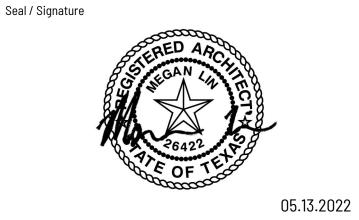
HALF SCALE: 3/32"=1'-0"

No.

Permit Set

00F ASSEMBLY	
OUF ASSEMBLT	

<u>Clerestory Top Plate</u> 13' - 8" <u>Level 2</u> 12' - 1 1/8"	
Le <u>ve</u> l 1 <u>Top Plate</u> 10' - 0"	



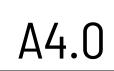
Description

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Cedarview Residence

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Building Sections



HALF SCALE: 3/32"=1'-0"

Level 1 0' - 0"

Basement Top Plate -2' - 11/8"

<u>A</u>vg <u>Adj</u> G<u>rade</u> -3' - 4 1/2"

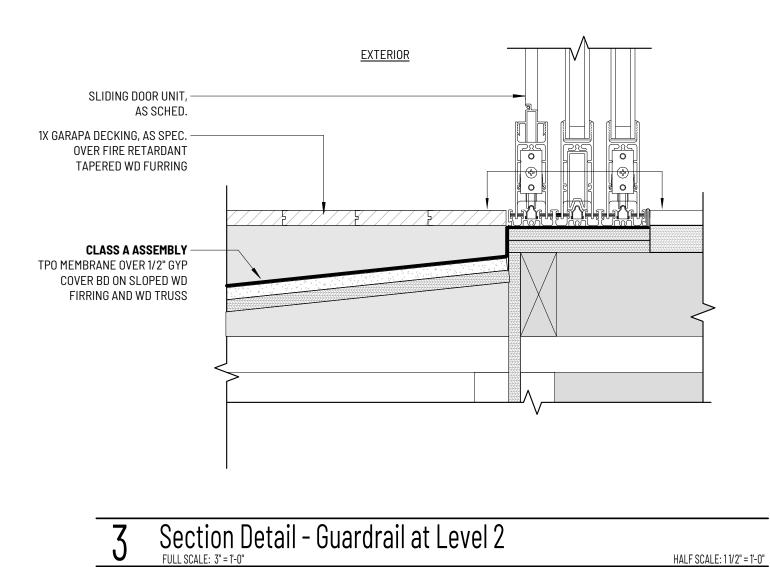
Basement Level -11' - 7 1/8"

Scale

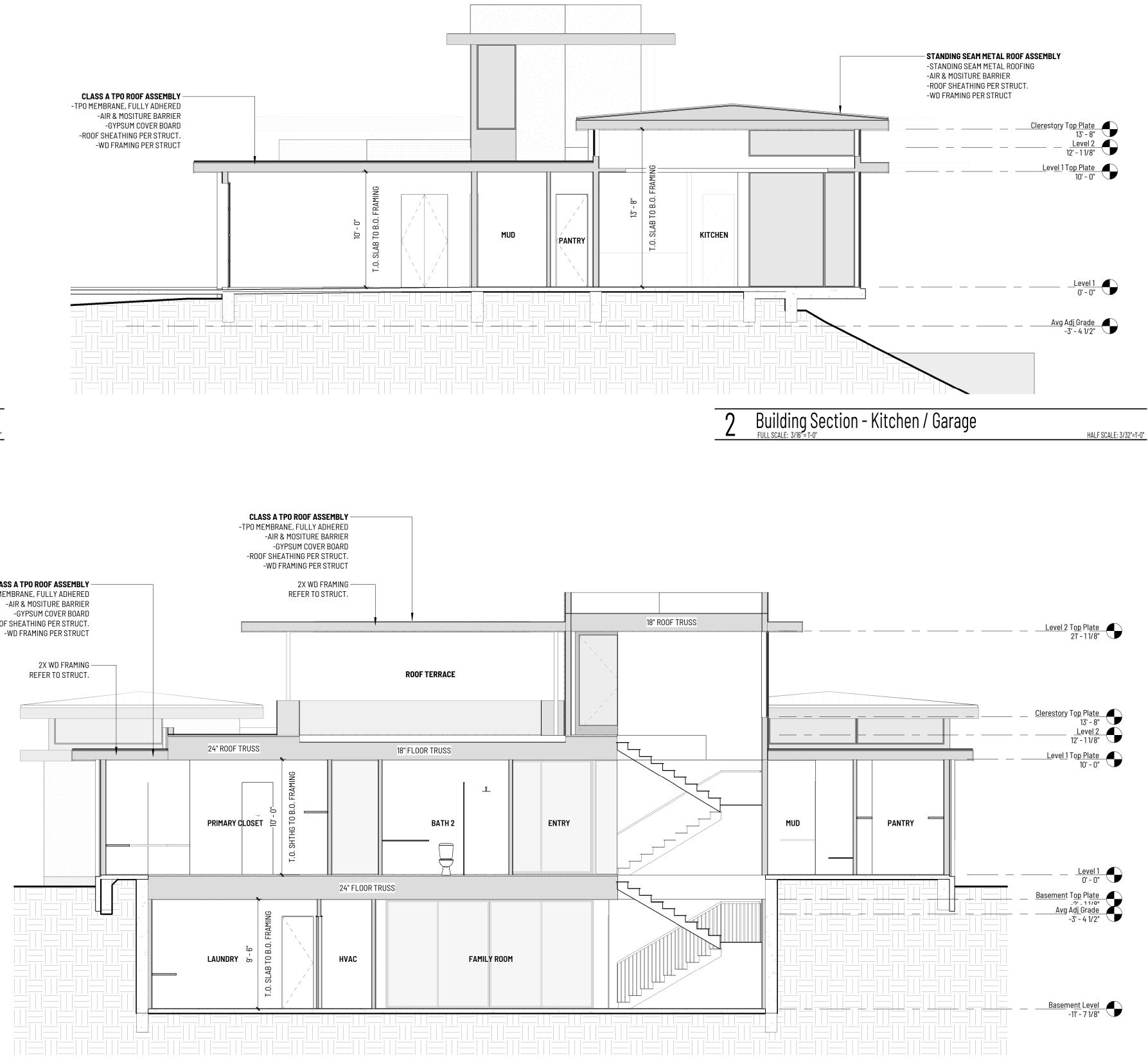
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CLASS A TPO ROOF ASSEMBLY -TPO MEMBRANE, FULLY ADHERED -AIR & MOSITURE BARRIER -GYPSUM COVER BOARD -ROOF SHEATHING PER STRUCT.



Building Section - Stair

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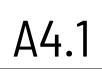
Scale

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Building Sections



WIND

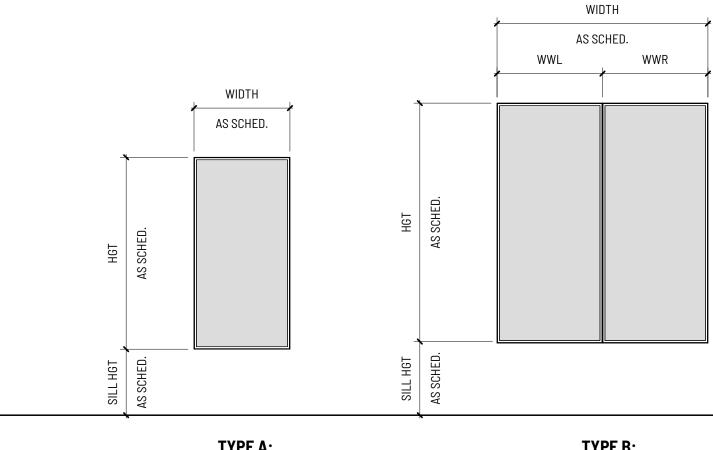
Windo 101A 103A 103B 105A 105B 105C 105C 105C 105F 106A 108A 108A 110A 110A 110B 110C 110D 111A 113A 115A 115B 116A 116B 116C 116D 116E

WINDO

Windc 200A 200B 200C

ndow Number	Window Location	Window Type	Overall Width	Width - Loft	Width - Right	WHB	WHT	Overall Height	Sill Height	Manufacturer	Exterior Frame Finish	Fire Rating	Note
					Wittin - Right	VVIID	VVIII						
۱ ۱	101 Entry		4' - 0"					9' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
4	103 Living Room		4' - 5 1/2"					9' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
3	103 Living Room		4' - 5 1/2"					9' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
4	105 Kitchen		9' - 11/2"		2' - 8"			9' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
8	105 Kitchen		10' - 0 1/4"		5' - 0 3/8"			9' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
5	105 Kitchen		15' - 1 1/2"	7' - 7"	7' - 7"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
)	105 Kitchen		22' - 11/2"	11' - 1"	11' - 1"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
E	105 Kitchen	В	20' - 1"	10' - 0 3/4"	10' - 0 3/4"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
F	105 Kitchen	Α	9' - 1 1/2"					2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
4	106 Pantry	Α	1' - 11 1/2"					5' - 11 1/2"	3' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
4	108 Garage	Α	2' - 11 1/2"					8' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
۱.	110 Primary Bedroom	Α	9' - 4"					2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
}	110 Primary Bedroom	В	18' - 0 1/2"	9' - 0 1/2"	9' - 0 1/2"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
;	110 Primary Bedroom	В	15' - 0 1/2"	7' - 6 1/2"	7' - 6 1/2"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
)	110 Primary Bedroom	В	13' - 0 1/2"	6' - 6 1/2"	6' - 6 1/2"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
	111 Primary Bath	Α	8' - 4"					1' - 11 1/2"	8' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
l .	113 Hall	Α	9' - 11"					2' - 5 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
l l	115 Office	С	3' - 0"			3' - 0"	6' - 0 1/2"	9' - 0 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
}	115 Office	Α	1' - 11 1/2"					8' - 11 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
l .	116 Bedroom 2	С	3' - 0"			3' - 0"	6' - 0 1/2"	9' - 0 1/2"	0' - 0"	Western	Aluminum - Bronze Anodized	20 min.	
}	116 Bedroom 2	Α	7' - 0 1/2"					2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
, ,	116 Bedroom 2		12' - 0 1/2"	6' - 0 1/2"	6' - 0 1/2"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
]	116 Bedroom 2		12' - 0 1/2"		6' - 0 1/2"			2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	
	116 Bedroom 2		4' - 10 1/2"					2' - 3 1/2"	1' - 4"	Western	Aluminum - Bronze Anodized	20 min.	

NDOW SCHEDU	DOW SCHEDULE - LEVEL 2													
						Overall								
ndow Number	Window Location	Window Type	Overall Width	Width - Left	Width - Right	Height	Sill Height	Manufacturer	Exterior Frame Finish	Fire Rating	Note			
4	102 Stair	A	3' - 4 1/2"		7'	- 4"	1' - 6 5/8"	Western	Aluminum - Bronze Anodized	20 min.				
3	102 Stair	A :	3' - 4 1/2"		7'	- 4"	1' - 6 5/8"	Western	Aluminum - Bronze Anodized	20 min.				
2	102 Stair	A :	3' - 4 1/2"		7'	- 4"	1' - 6 5/8"	Western	Aluminum - Bronze Anodized	20 min.				



TYPE A: PICTURE ALUMINUM THERMALLY IMPROVED

TYPE B: PICTURE (2 LITES HORIZ. MULL) ALUMINUM THERMALLY IMPROVED

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Seal / Signature



Project number

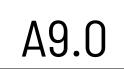
05.13.2022

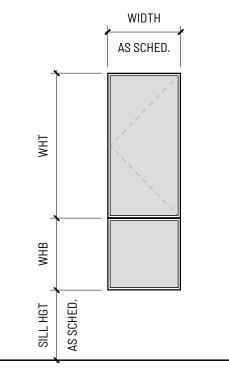
22-080

Cedarview Residence

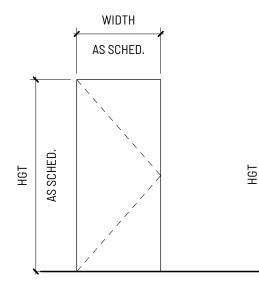
2900 Cedarview Drive Austin, TX 78704

Window Schedules

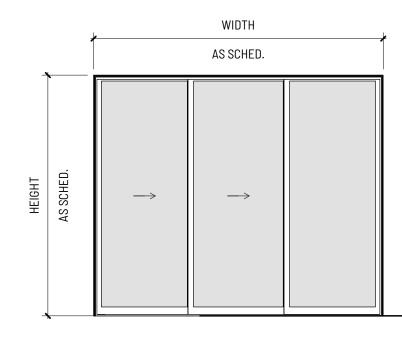




TYPE C: CASEMENT W/ PICTURE (2 LITES VERT. MULL) ALUMINUM THERMALLY IMPROVED



TYPE A: ENTRY PIVOT DOOR SOLID CORE



TYPE E: GLASS SLIDING DOOR 3 PANEL - ALUMINUM THERMALLY IMPROVED TEMPERED GLASS

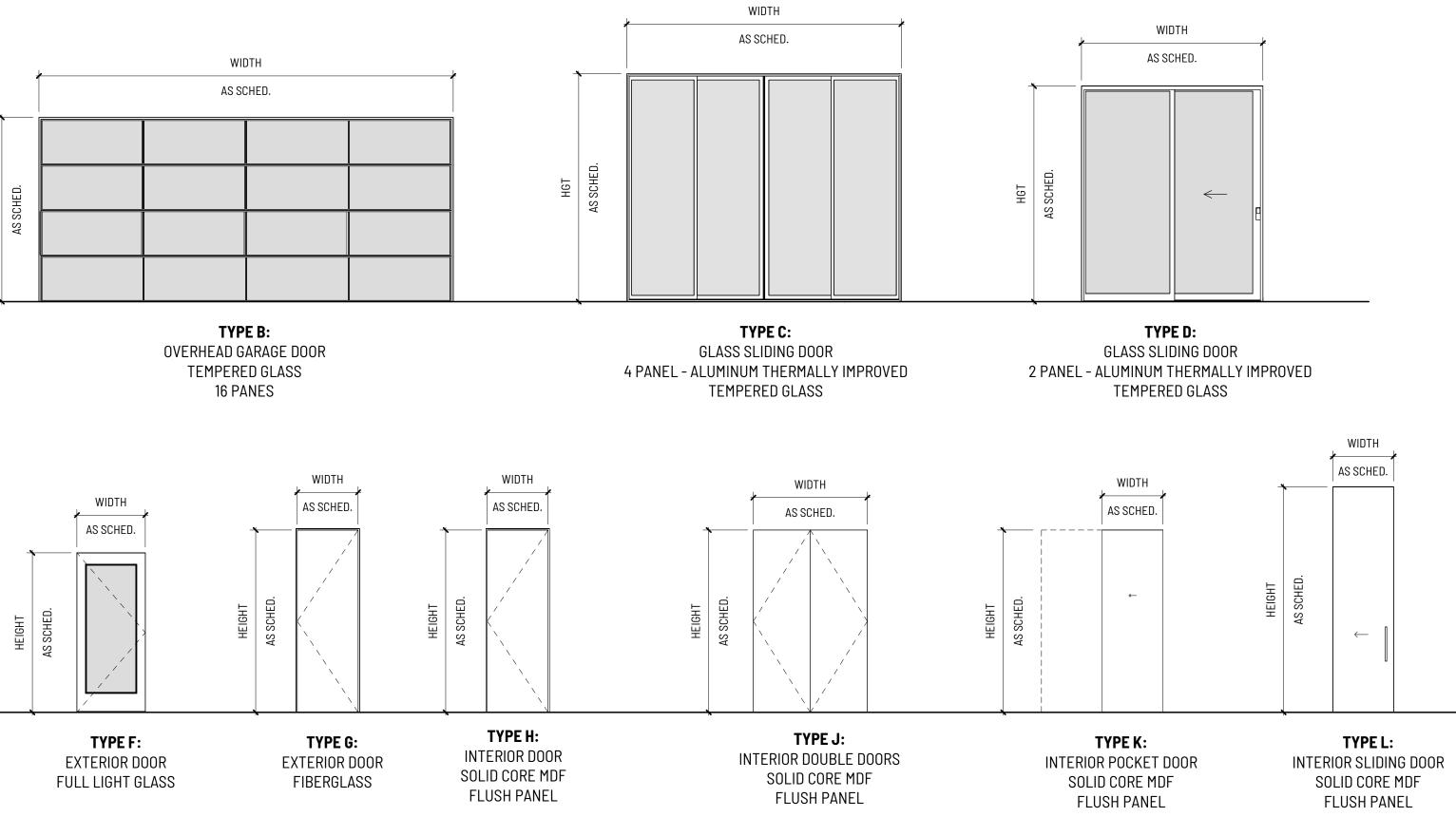
			Sliding Door		Sliding Door		
Door	Door		- Rough		- Rough		
Number	Туре	Width	Width	Height	Height	Manufacturer	Fire Rating
001A	С	17' - 11 1/2"	18' - 0"	9' - 5 1/2"	9' - 6"	Western	20 min.
002A	Н	2' - 8"		8' - 0"		Trustile	
002B	F	3' - 0"		8' - 0"		Western	20 min.
003A	F	3' - 0"		8' - 0"		Western	20 min.
005A	Н	2' - 8"		8' - 0"		Trustile	
006A	Н	2' - 8"		8' - 0"		Trustile	
007A	Н	2' - 8"		8' - 0"		Trustile	
007B	J	5' - 0"		8' - 0"		Trustile	
007C	D	7' - 11 1/2"	8' - 0"	9' - 5 1/2"	9' - 6"	Western	20 min.
008A	Н	2' - 8"		8' - 0"		Trustile	
008B	J	4' - 0"		8' - 0"		Masonite	
008C	J	4' - 0"		8' - 0"		Masonite	
008D	E	12' - 11 1/2"	13' - 0"	9' - 5 1/2"	9' - 6"	Western	20 min.
009A	К	2' - 8"		8' - 0"		Masonite	

DOOR SCHEDULE - LEVEL 1

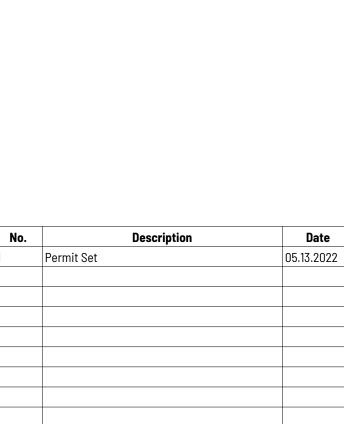
Door	Door		Sliding Door - Rough		Sliding Door - Rough			
Number	Туре	Width	Width	Height	Height	Manufacturer	Fire Rating	
101A	А	4' - 6"		10' - 0"		TBD		
101B	J	4' - 0"		8' - 0"		Masonite		
103A	С	17' - 11 1/2"	18' - 0"	10' - 0 3/8"	10' - 0 7/8"	Western	20 min.	
106A	Н	2' - 8"		8' - 0"		Trustile		
107A	G	3' - 0"		8' - 0"		Masonite		
108A	В	18' - 0"		9' - 0"		TBD		
109A	J	4' - 0"		8' - 0"		Masonite		
110A	Н	2' - 8"		8' - 0"		Trustile		
110B	E	12' - 11 1/2"	13' - 0"	9' - 11 1/2"	10' - 0"	Fleetwood	20 min.	
111A	L	2' - 8"		9' - 11 3/8"		TBD		
111B	К	2' - 8"		8' - 0"		Masonite		
111C	Н	3' - 0"		8' - 0"		Trustile		
112A	К	2' - 8"		8' - 0"		Masonite		
114A	Н	2' - 8"		8' - 0"		Trustile		
115A	Н	2' - 8"		8' - 0"		Trustile		
116A	Н	2' - 8"		8' - 0"		Trustile		
116B	J	4' - 0"		8' - 0"		Masonite		

DOOR SCHEDULE - LEVEL 2

Door	Door					
Number	Туре	Width	Height	Manufacturer	Fire Rating	Comments
201A	F	4' - 0"	9' - 0"	Western	20 min.	



Comments
Comments
Comments



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Project number

05.13.2022

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Cedarview Residence

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Door Schedules

